



## THE BEACHSIDE VILLAGE PATTERN BOOK

Standards & Provisions for a Visually Cohesive Community

Revised January 2023

**I. Introduction: The Beachside Vision** ..... 1

**II. General Development Regulations** ..... 2

    A. Regulating Plan ..... 2

    B. Development Program ..... 4

    C. Street Types ..... 5

    D. Summary of Regulations ..... 8

**III. Building Types- Village Center** ..... 10

    A. Lot Development Standards ..... 11

    B. Massing and Composition ..... 12

    C. Key Elements and Details ..... 14

    D. Exterior Materials and Finishes ..... 15

**IV. Building Types- Single Family** ..... 16

    A. Lot Development Standards ..... 17

    B. Massing and Composition ..... 23

    C. Key Elements and Details ..... 30

    D. Exterior Materials and Finishes ..... 40

**V. Site Elements** ..... 42

    A. Landscaping ..... 43

    B. Fencing ..... 45

    C. Lighting ..... 47

    D. Paving ..... 48

    E. Graphics and Signage ..... 48

**VI. The Development Approval Process** ..... 54



### How to Use this Pattern Book

The Beachside Village Pattern Book will guide the developer of specific projects in the Beachside Village Planned Development in a manner consistent with the vision and goals established by the community developer and the City of Galveston.

This Pattern Book is organized according to three general topics. The first, described in Section II, summarizes the General Development Regulations applicable to the entire community. This section will guide the builder with a general overview of the intent of the Beachside Village Master Plan. This section describes the overall development plan and program, street types, lot development standards, and an overview of the architectural guidelines.

The second area of focus deals with the regulations specific to each building type, whether commercial or residential. These regulations are discussed in Section III and IV respectively, and will describe in detail the provisions that define the desired character for buildings in Beachside Village. These provisions include standards and guidelines for building placement and lot development, massing and composition, key elements and details, and materials and finishes.

The third area of focus deals with site elements, as discussed in Section V. Here will be found standards for those elements in Beachside Village that occur on the home sites within public view. These elements include landscaping, public area lighting, paving standards, signage, fencing, and screening of unsightly elements.

Section VI is supplemental information that describes the development review and approval process.

### Language Conventions

The provisions of this Pattern Book shall be read as follows:

“shall” indicates a mandatory requirement.

“should” indicates a recommended provision. The incorporation of such provisions in the designs will be favorably considered in the review process.

“may” indicates an optional provision.



### Design Intent

This pattern book is intended to foster a visually cohesive environment in Beachside Village. It is also intended to set minimum standards for the architectural design and the quality of materials and construction.

The regulations for massing, composition, and key elements are intended to demonstrate the general level of design quality sought in Beachside Village. These regulations are not intended to limit the possibilities for innovative design, but rather, to establish a basic language of expression. Variances to these regulations may be granted for architectural merit at the sole discretion of the reviewer, and will be addressed during the design review process. Designers are advised, however, to scrupulously observe these regulations to the best of their ability.

Owners and designers are further advised that these regulations have evolved over time. With the benefit of over two decades of construction in Beachside Village, certain provisions of the Pattern Book have been revised to enhance and encourage desirable outcomes and to prevent future occurrences of undesirable outcomes. Citing examples of existing undesirable results does not constitute a valid argument for future approval of similar features.



### Introduction

Beachside Village is a unique community of homes situated on 88 acres of Gulf-front property on Galveston's west end. Modeled after a true traditional town environment, the community includes a range of different lot types, and a variety of communal open spaces.

The layout of the streets and lots, as well as the design of the individual structures, is intended to reinforce a sense of community. Houses feature front porches and welcoming stairs that provide a human-scaled transition to the raised floor level. Many front on greenways or parks. The influence of the automobile is deemphasized by the use of narrow streets and many units feature parking access via a rear lane.

Of course, generous beachfront lots are provided. But there is also a range of smaller, interior lots that offer an affordable alternative while still providing many of the amenities of a coastal community. Many of these lots front on greenways that feature a view corridor to the Gulf, with a dune walkover providing convenient beach access at the end of every greenway.

The architecture of Beachside Village evokes a relaxed lifestyle that borrows many elements from traditional Texas communities. Generous porches and decks, pitched metal roofs, and wood siding in a festive range of colors lend an air of consistency and order to the community, while still affording wide latitude in individual expression.



**Traditional Neighborhood Design.** *Remember when towns were designed on a human scale... for the family? The neighborhood itself was the focus and functioned as an outdoor room inviting all to become active participants in the community. This “new urbanism” is the inspiration of Beachside Village. With protection of the environment in mind, this design encourages the use of porches, pedestrian walkways and greenbelts linking parks, plazas and other recreational areas together with provisions for the use of bikes.*

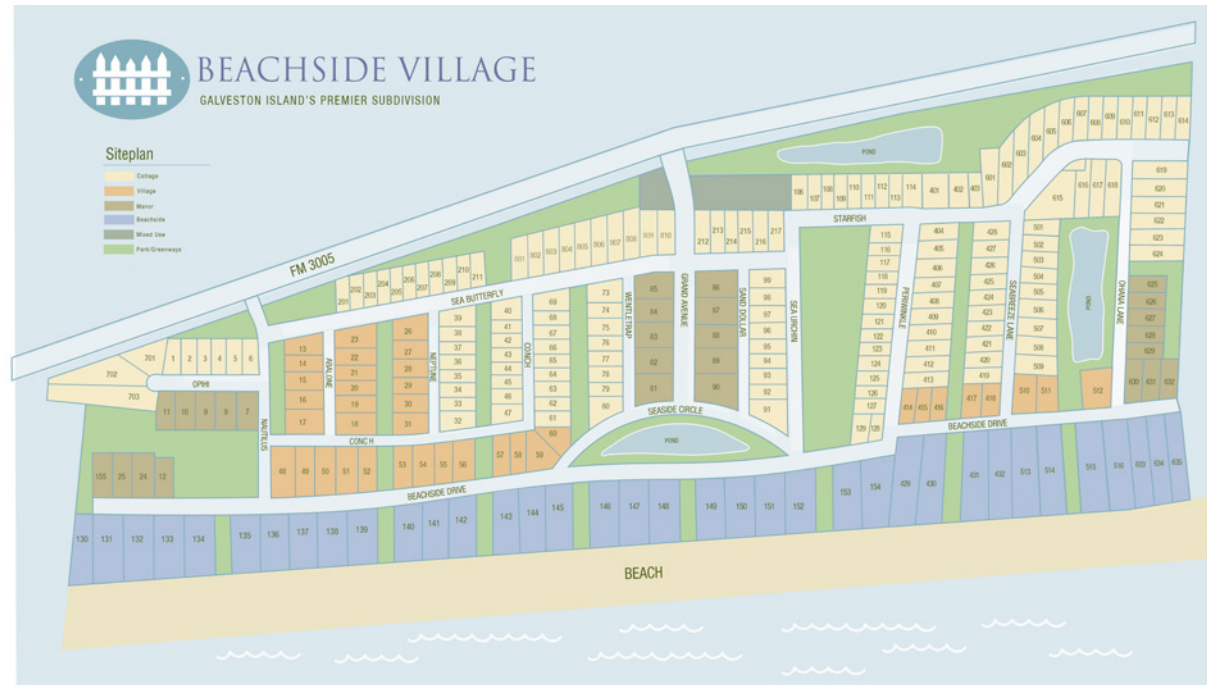
*Debbie and Bruce Reinhart  
Developers of Beachside Village*

**A. The Regulating Plan**

The Regulating Plan for Beachside Village allocates the proposed land uses and elements of the development program to specific locations on the overall site plan. The Regulating Plan is depicted here and on the following page at a larger scale. The various land use categories are color coded as shown on the legend.

The Regulating Plan establishes defined, discrete areas for commercial uses and several residential lot types. Although the different uses tend to be clustered together, the entire project is small enough that a person may readily walk or bicycle from one part of the community to the other, and the community as a whole reads as a well-integrated mix of types. Green space is distributed throughout so that it may serve as an amenity for the entire community.

Later sections of this Pattern Book define the detailed regulations for the commercial lots as well as the various types of residential lots.



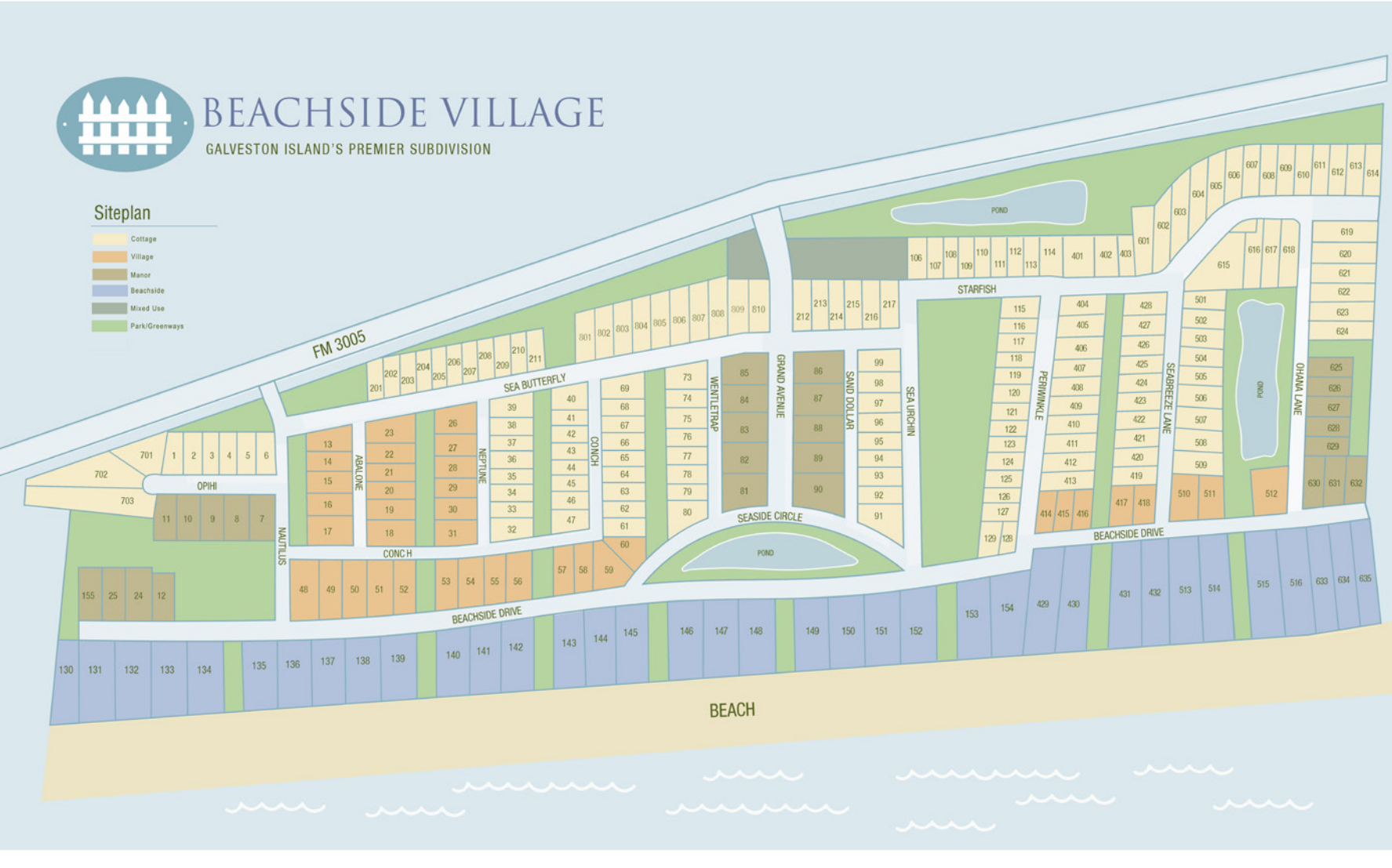
The Regulating Plan defines four basic residential lot types:

- Cottage Lots; generally 40 feet wide by 105 feet deep. These are found at interior locations and are intended to provide a reasonably economical alternative for a beachfront community location.
- Village Lots; generally 45 to 60 feet wide by 110 feet deep.
- Manor Lots; generally 70 feet wide by 120 feet deep.

- Beachside Lots with Gulf of Mexico frontage; generally 70 - 90 feet wide by 200 feet deep, although more than half of the lot is a dune area preserve that cannot be built on.

These lot types are color coded on the Regulating Plan. Each lot type has varying requirements for setbacks and buildable area, as defined in this Pattern Book.

All residential lots are coded for single-family detached structures.



**B. Development Program**

The development program includes the following allocation of uses:

Cottage Lots:	159 lots
Village Lots:	46 lots
Manor Lots:	19 lots
Beachside Lots:	35 lots
Total Residential:	259 lots

The site contains 88 gross acres of area, of which 8.77 acres are dedicated to parks and wetland reserves and 5.9 acres to greenways.

The overall gross density is about 3.15 units per acre, while the net density (after subtracting the area of the parks and greenways) is about 3.98 units per acre.

Sections 1+2:	60.77 acres
Section 4:	9.16 acres
Section 5:	10.27 acres
Section 6:	8.19 acres
Total Acres:	88.39 acres



*A view down one of the pedestrian passages, showing the Gulf of Mexico in the distance.*

C. Street Types

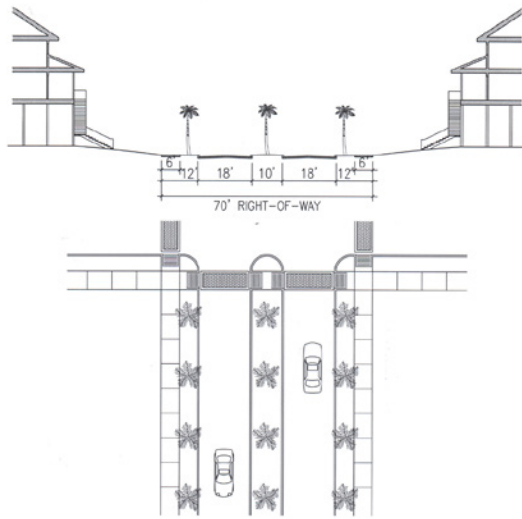
The land plan for Beachside Village provides for a hierarchy of streets designed to fill a variety of functions and to create a human scaled, pedestrian friendly environment. The street types are indicated on the plan, and their primary characteristics are indicated on the accompanying drawings.

The plan is based on a series of distinct street types matched to the functions of the buildings fronting the streets. Commercial streets, for example, have defined on-street parking zones intended to augment on-site parking with convenient parking near the building frontage to promote pedestrian activity and to help buffer the pedestrian from the effects of moving traffic. Residential streets are less formal, with narrower pavement widths. All streets in the development are designed as low-volume and low speed streets.

The street types in Beachside Village are based on the types permitted under the Traditional Neighborhood Design option of the City of Galveston Zoning Ordinance. The street types used here are defined on the following pages.

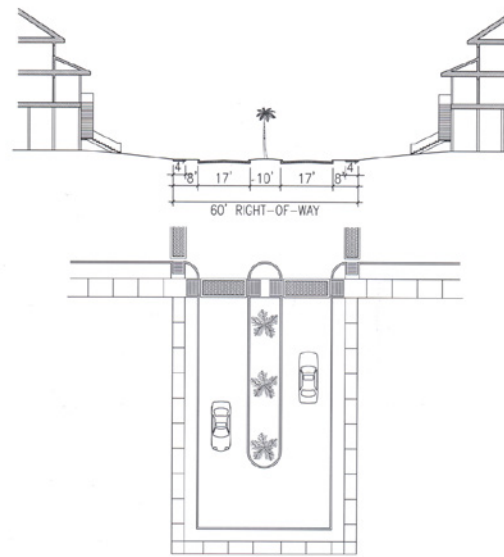


*Street types. The numbers refer to the right-of-way widths.*



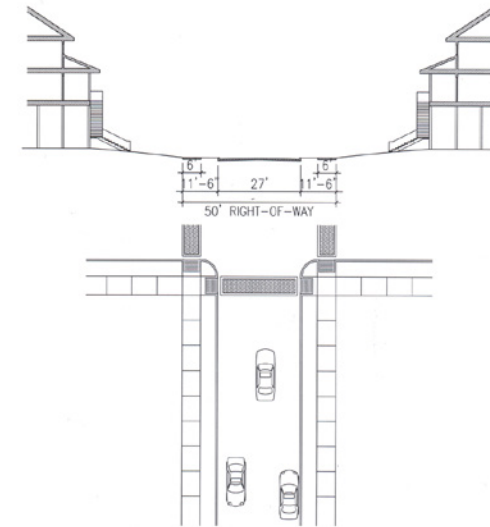
**AV-70 Divided Boulevard**

A divided boulevard within a 70-foot wide right-of-way. It has two 18-foot wide pavement sections separated by a 10-foot wide landscaped median.



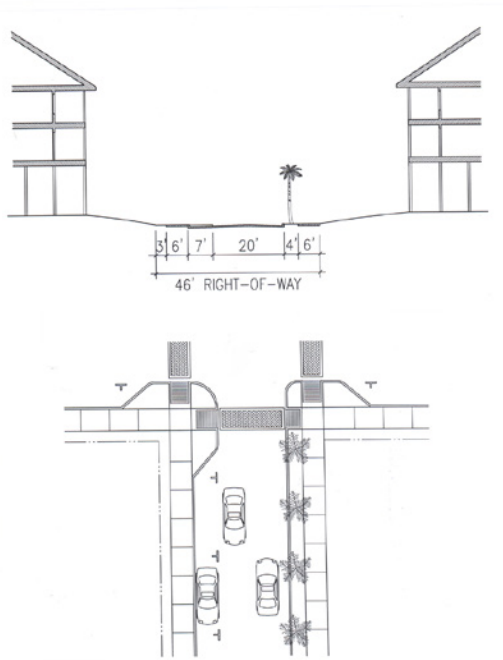
**CL-60 Close**

A close is used at stub ends of streets as an alternative to the conventional cul-de-sac bulb. It is a divided section located within a 60-foot wide right-of-way, consisting of two 17-foot wide pavement sections separated by a 10-foot wide landscaped median, which allows a vehicle to turn around at the end of the street.



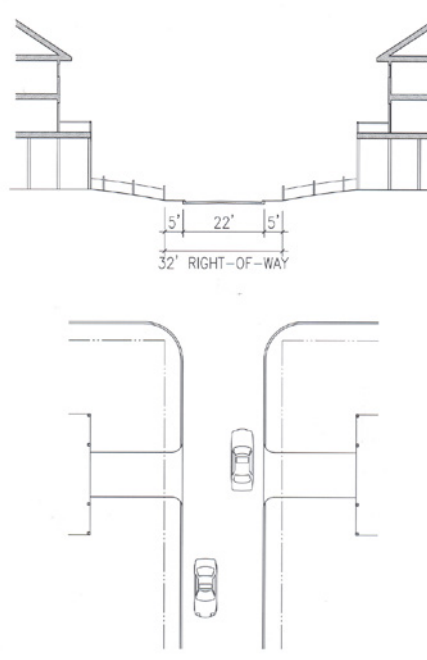
**RD-50 Residential Street**

A conventional residential street within a 50-foot wide right-of-way. It consists of a 27-foot wide pavement section that allows for one lane of moving traffic in each direction as well as a curbside parking lane on one side.



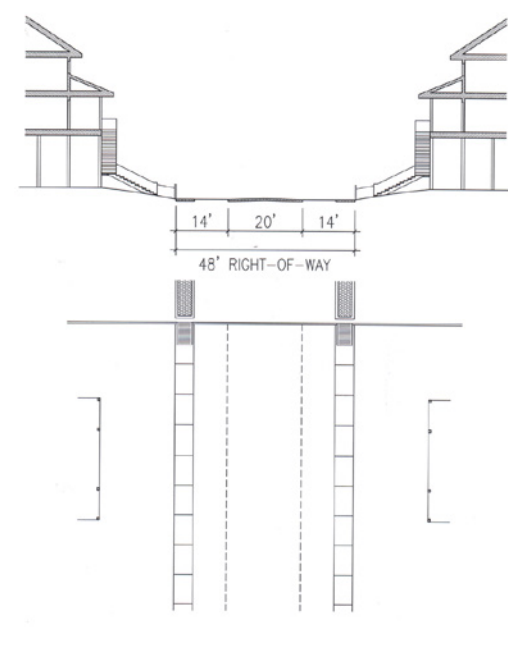
**RD-46 Residential Street**

A conventional residential street within a 46-foot wide right-of-way, consisting of a 20-foot wide pavement section.



**LN-32 Lane**

A 22-foot wide pavement section within a 32-foot wide right-of-way. This lane is intended for slow two-way traffic and serves primarily as a vehicle access for the lots, similar to an alley.



**PA-48 Pedestrian Passage**

A “passage” street, from the French word for a pedestrian way. This is a landscaped 48-foot wide right-of-way that has no pavement.

### D. Summary of Regulations

The design criteria for Beachside Village are established in the Traditional Neighborhood Development (TND) District of the City of Galveston Zoning Ordinance and further defined in this Pattern Book. The intent of the regulations is to:

- Facilitate the planning, design, and construction of a quality beachside community reflecting the unique character of the Texas Gulf Coast;
- Encourage architectural themes that reflect the scale, details, ornamentation, and mix of uses characteristic of traditional Texas coastal vernacular;
- Encourage the creation of a “Main Street” with public spaces for a variety of pedestrian activities.

General Provisions of the regulations include:

1. Beachside Village shall be developed with a common architectural theme, to include buildings, signage, fencing, lighting, paving, curbing, and landscaping;
2. Each building shall have an aluminum gable, hip, or gambrel roof with exposed rafter tails; the use of flat or shed roofs is limited to secondary elements such as porches and towers;
3. All portions of the development shall be linked via a continuous pedestrian pathway network, and designed to encourage pedestrian circulation.

Specific provisions for elements such as lot coverage, lot area, setbacks, height, etc., for commercial and residential building types are covered in detail in the next two sections of this pattern book.

The regulations are intended to:

- Place commercial buildings so that they front directly on the primary street they face. They shall have a minimum front setback from the sidewalk and shall have open, permeable uses at the lower level to promote pedestrian activity and human interaction. Parking shall be placed behind and under the buildings and screened from public view by landscaping.
- Promote an active relationship between the house and the street. Front porches are required, and the main stair leading to the first level must be of an open, welcoming layout with an intermediate landing designed to minimize the effect of the grade separation.
- Provide for a consistent architectural expression that evokes the traditional Texas vernacular. The style is characterized by simple volumes with pitched metal roofs, wood siding, and generous porches.
- Ensure a high quality of construction, with appropriate materials, finishes and details.
- Establish standards for site development, including minimum requirement for landscaping, lighting, fencing, and paving.

Design of all structures within Beachside Village is subject to a series of reviews by the Community Association and the Town Architect to ensure compliance with the intent of this pattern book. The body of the design review procedures is reproduced in Section VI of this pattern book.

The following sections of the pattern book present the detailed requirements for the specific elements of the community.

- Section III deals with the commercial building in the Village Center.
- Section IV deals with the residential buildings.
- Section V deals with site elements such as landscaping, paving, and lighting.

#### The Village Center

Commercial lots are provided flanking the main entrance to Beachside Village. This location is fairly central to the community as well as taking advantage of proximity to the highway to serve through traffic.

The commercial buildings are intended to house primarily retail uses on the first level. This level will actually be located about 8-10 feet above grade and served by an elevated boardwalk fronting the buildings. The commercial buildings are subject to the provisions of this section.



*Beach Club*

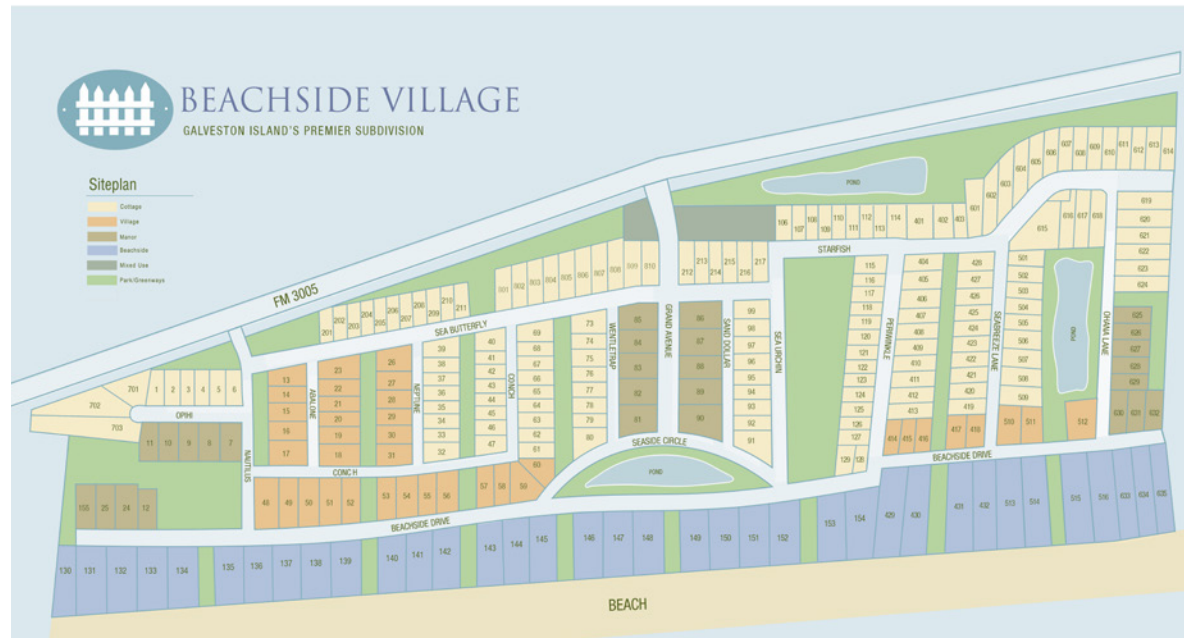


*Pier 39*

**A. Lot Development Standards**

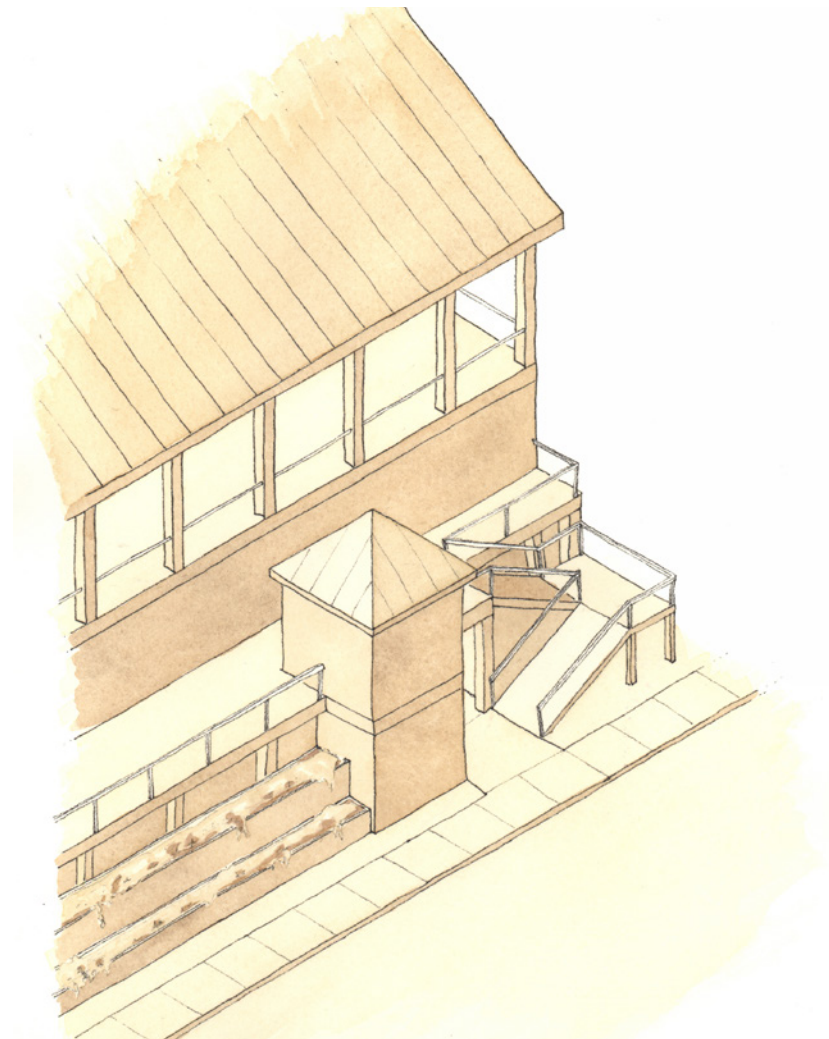
1. The general disposition of building elements on the site is illustrated in this drawing. The buildings shall front on the main entry drive and turn the corners to continue fronting on the east-west street.
2. The buildings shall have a continuous elevated boardwalk fronting the street and directly abutting the building frontage. This boardwalk zone shall be a minimum of 10 feet wide.
3. The buildings shall be located directly abutting the boardwalk with a floor level matching that of the boardwalk. The intent is to create a continuous street front to promote pedestrian circulation along the boardwalk.
4. There is a minimum 10-foot setback along the side property lines, defined as the lines that terminate the boardwalk zones.
5. Parking areas shall be located behind the buildings, in the area indicated on the

drawing. Parking shall be accessed from Sea Butterfly Road and Grand Avenue along the building frontage. Parking may also be located under the building, if screened from view along the frontage.



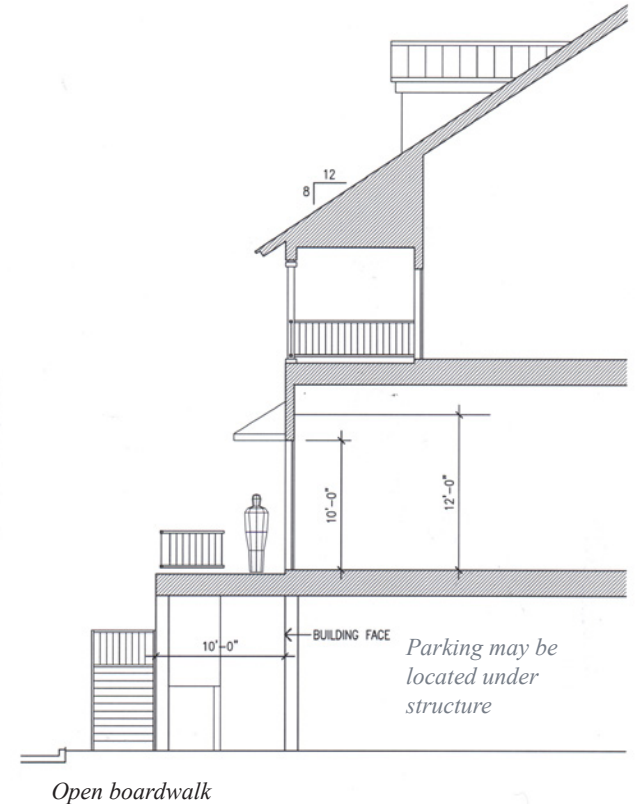
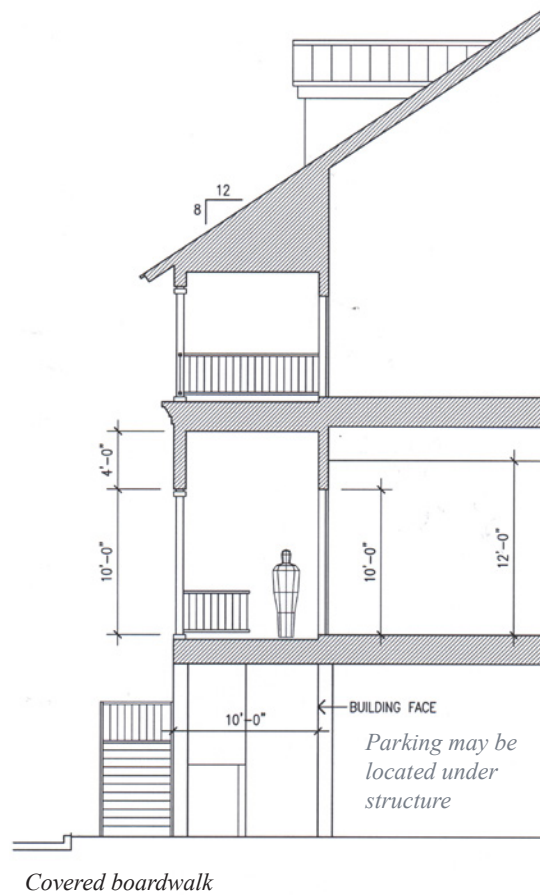
**B. Massing and Composition**

1. Buildings shall be horizontally oriented to front the boardwalk, and shall form a continuous street face to the maximum extent practicable. At least 80 percent of the total site frontage shall be occupied by a building façade.
2. All street façades fronting the boardwalk shall contain openings, either doorways, shop windows, or storefront glazing systems, comprising at least 40 percent of the total façade width for any given elevation.
3. The building face may be set back to form a courtyard for a maximum of 50 feet of frontage. This may occur only once in each building. Courtyard elevations shall contain openings as for street elevations, as described in item 2 above. The boardwalk shall continue uninterrupted in front of the courtyard.



*Boardwalk*

4. Arcades, canopies, awnings, or other such means of sheltering the boardwalk are encouraged. These elements may project over the boardwalk zone, up to the edge of the right-of-way. In the case of a structural arcade, the face of the arcade shall be placed at the right-of-way line. Upper floors, where provided, may occupy the space above the arcade.
5. Upper floors are encouraged, and may include uses different from the ground floor occupancy, for example, office or residential uses. Maximum building height shall be three occupied stories
6. Corner conditions should be distinguished by a specially articulated portion of the building that addresses both street frontages in a similar manner. Such elements should be a minimum of two stories (in expression, if not in actual occupancy) and may be enhanced with such elements as towers, arcades, distinctive roofs, etc.



#### C. Key Elements and Details

1. Boardwalk. The elevated boardwalk may be constructed of any acceptable structural materials, but the intent is for it to harmonize with the design of the building. Columns, guardrails, and skirt materials should be predominantly of wood. The walk surface may be of wood or composite, or may be of other suitable hard materials such as concrete pavers or clay tile, if there is a suitable substrate. If wood boards are used they shall be natural cedar, cypress, or redwood boards, or pressure-treated pine. Floor boards shall be continuous for the entire width of the boardwalk and shall be spaced to leave no more than a 1/4" gap between boards.
2. Benches. Benches are encouraged along the boardwalk. They may be placed at the building face or along the guardrail, but, in any case, must leave a 6-foot wide clear path for circulation.
3. Stairs and Ramps. Stairs and ramps or elevators are required to connect the boardwalk with the sidewalk at grade. All parts of commercial buildings shall be accessible by ramp. Ramps and elevators need not be located along the boardwalk if access to parking, etc., indicates a more logical location, as long as it remains easily accessible from the frontage.
4. Storefronts. Storefronts may consist of wood, or clad "profile" type opening systems with wood look, or aluminum storefront systems. Aluminum storefront systems shall be limited

to no more than 16 feet in length for any given contiguous element. Aluminum finish shall be factory finished white enamel.

5. Mixed Use. The intent is to have primarily commercial uses along the boardwalk frontage, with residential located above.

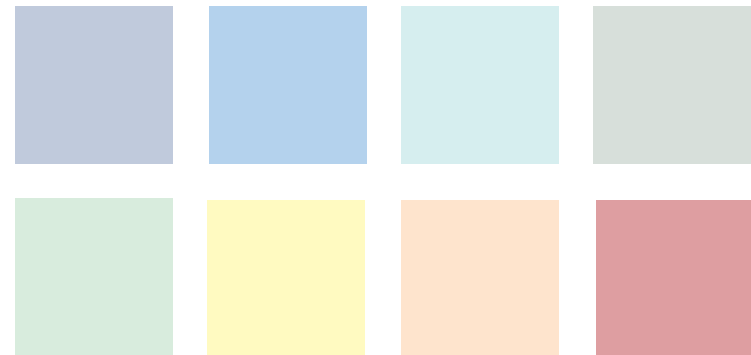


**D. Exterior Materials and Finishes**

1. Walls. Exterior walls shall be finished with horizontal lap siding, which may be composed of wood or Hardiplank. No vinyl or aluminum siding is permitted. Siding must consist of individual boards; pre-manufactured sheets are not permitted. Trim shall be wood or Hardiplank.
2. Roofs. All roofs shall be of aluminum material. Galvalume or other galvanized sheet steel materials will not hold up long term in the salt air environment. Nevertheless, the desired esthetic effect is to mimic a “metal roof.” Finish can be mill finish or clear anodized, as well as any metallic coating that resembles galvanized metal. Pattern may be standing seam, batten seam, 5V crimp, or Bermuda style. All flashing shall be of matching aluminum material.
3. Windows. Wood frame or clad “profile” type with wood look is required. Economy aluminum windows are not permitted.
4. Doors. Wood paneled doors, clad wood doors, or flush doors with glass lites are required for front entrances. Aluminum doors may be used as part of an aluminum storefront system, but shall be either medium or wide stile design with a horizontal lock rail.
5. Trim. Hardi-board or an equivalent cementitious material should be used wherever possible. Wood should be paint

grade “B & Better” and should be treated. Corner boards and opening trim shall be minimum 3.5 inches wide, cornice boards and fascias shall be minimum 5.5 inches wide.

6. Colors. Bright or pastel colors in a variety of hues, generally no less than 30 percent light reflective, are acceptable for field colors for wood siding. Brown and beige tones should be avoided; the intent is to create a bright and festive atmosphere. Darker colors should also be avoided, particularly red tones, as they have a tendency to fade quickly. Wood trim shall be bright white such as Sherwin Williams “Extra White”. All paint used on exterior surfaces in Beachside Village shall include mildicide.



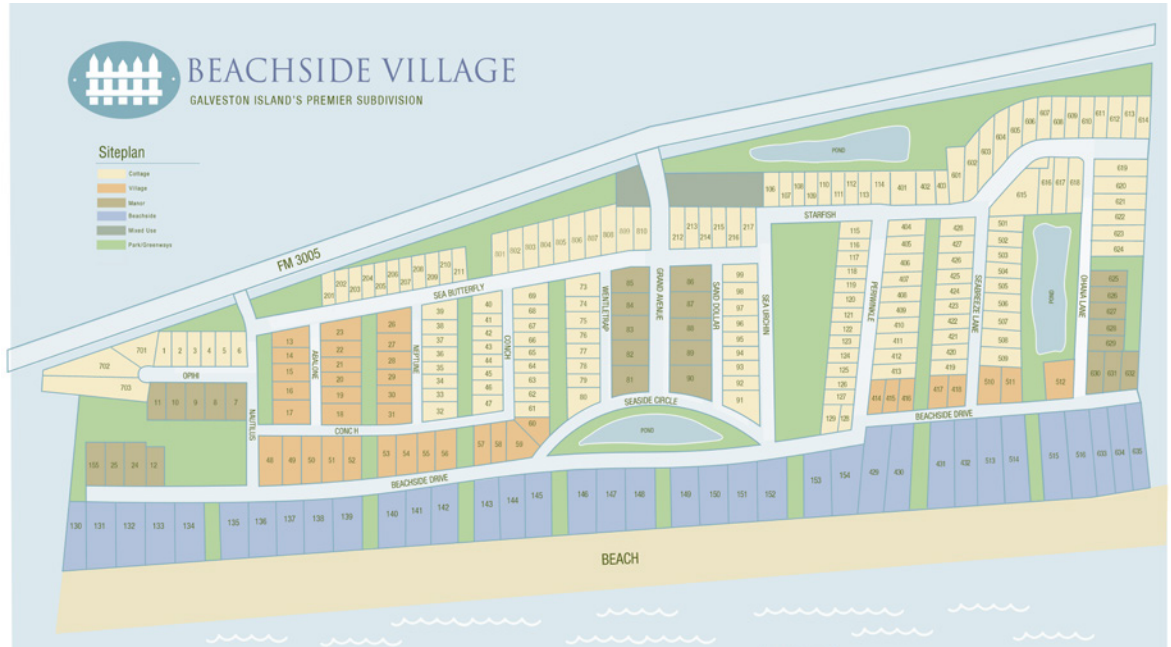
*Examples of acceptable exterior colors.*

**A. Lot Development Standards**

**Residential Lots**

There are a variety of different sized lots in Beachside Village. In ascending order of size, they are Cottage, Village, Manor, and Beachfront lots:

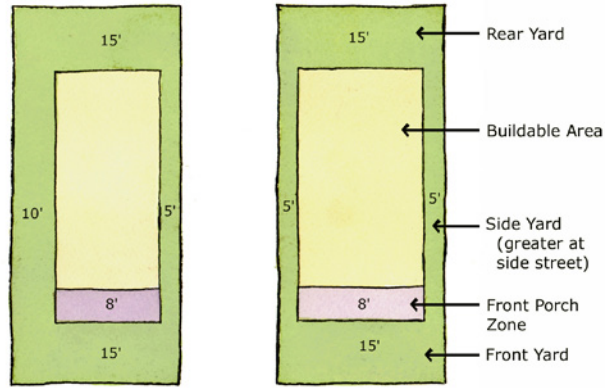
- Cottage Lots; generally 40 to 45 feet wide by 105 feet deep.
- Village Lots; generally 45 to 60 feet wide by 110 feet deep.
- Manor Lots; generally 60 to 70 feet wide by 120 feet deep.
- Beachside Lots with Gulf of Mexico frontage; generally 70 to 90 feet wide by 200 feet deep.



*Beachside Village Site Plan*

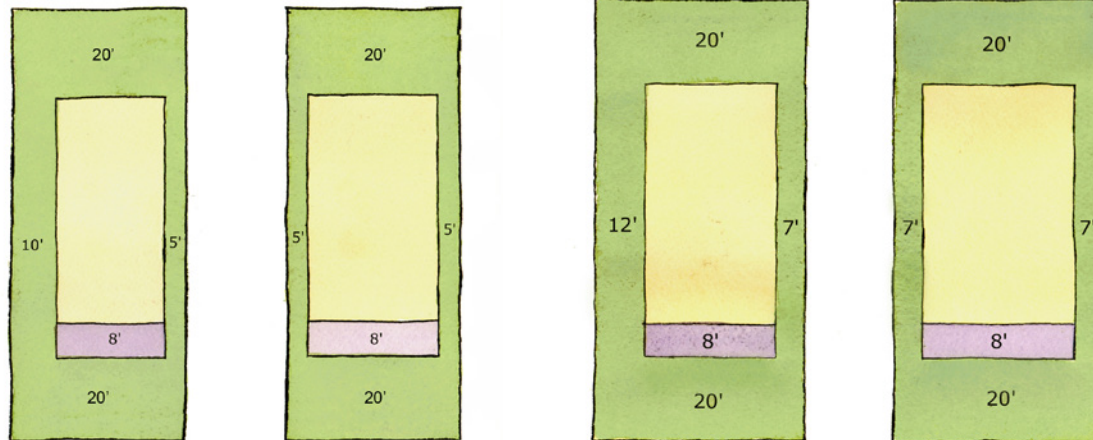
The various lot types are illustrated in the Figures on pages 17 and 18. Each type of lot has differing requirements for setbacks, or yards, on all sides that determines the buildable area of the lot. Typically, there is a larger front yard as the lot gets larger, and side yards are greater for corner lots.

Note that lots with a side along a Greenway (for example, Lots 52 and 53) shall be considered corner lots.



*Corner Cottage Lot*

*Interior Cottage Lot*

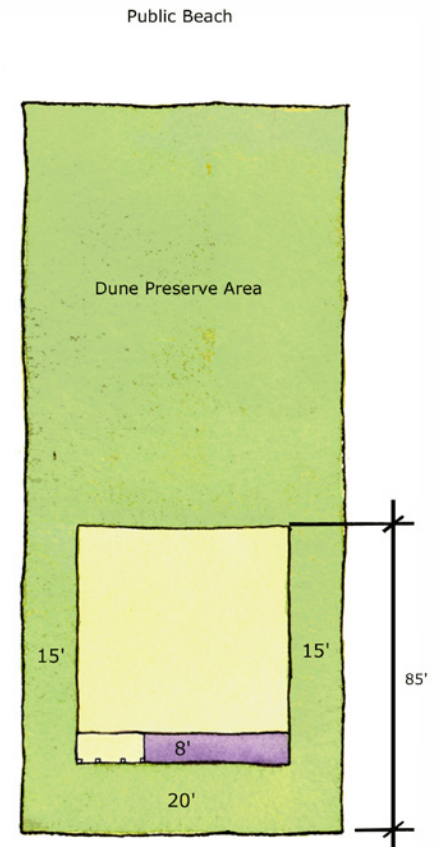


*Corner Village Lot*

*Interior Village Lot*

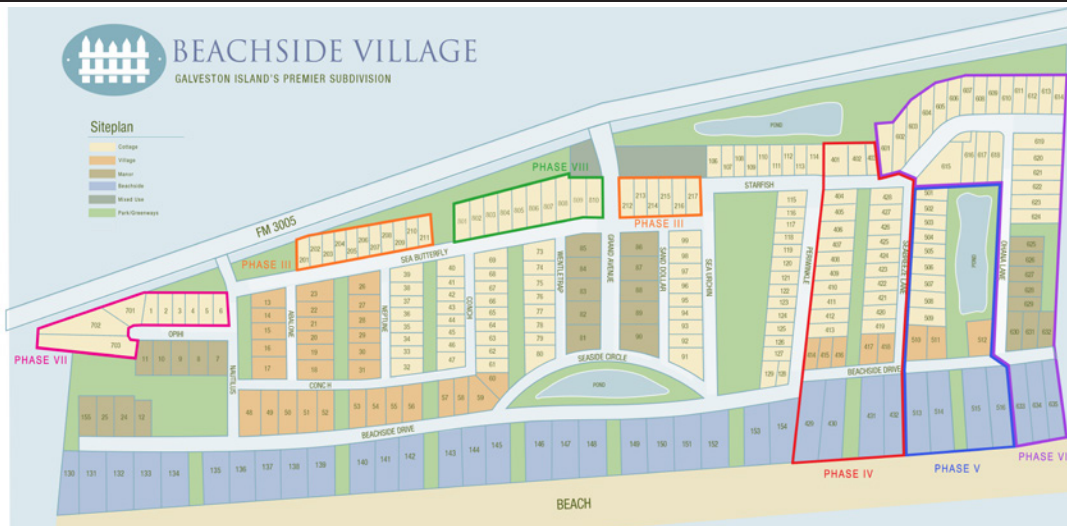
*Corner Manor Lot*

*Interior Manor Lot*



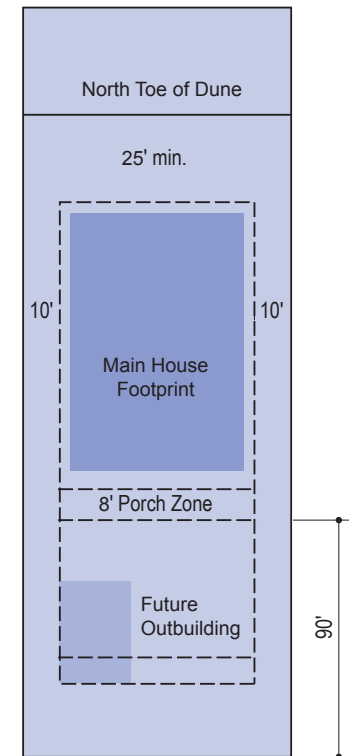
*Beachside Lot*

*Lot Setback Diagrams Phases I & II*

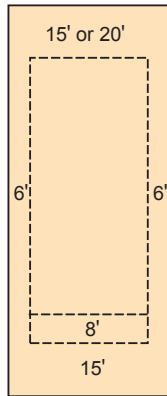


Key Map

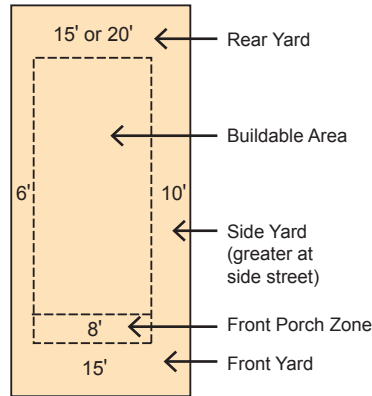
Beachfront Lots



Cottage Lots

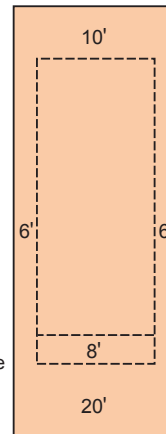


Inside Lot

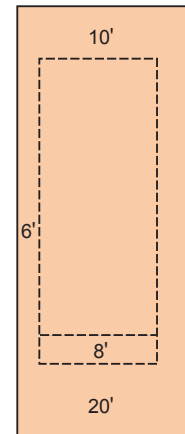


Corner Lot

Village Lots



Inside Lot



Corner Lot

10' on street  
15' on greenway

Lot Setback Diagrams for Sections III through VIII

### Building Placement

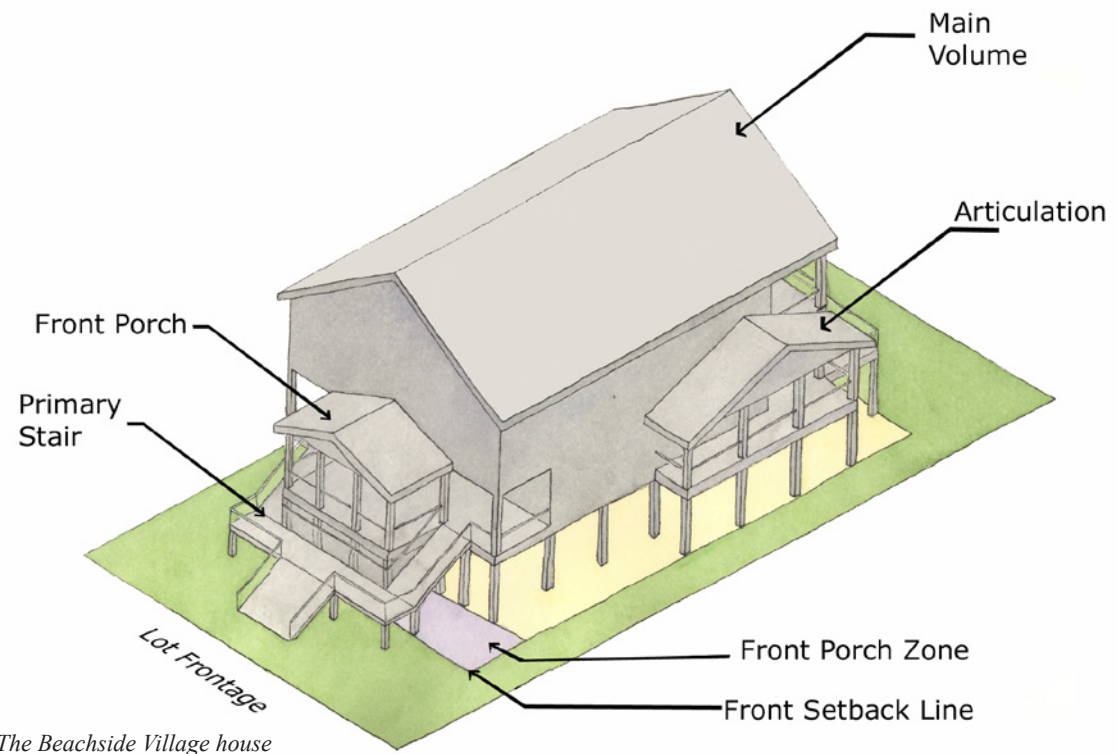
Each lot has a buildable area located within the setbacks (also referred to as yards) stipulated for the front, rear, and sides. The footprint of the building must be located entirely within this zone.

Exceptions:

1. Roof overhangs may project a maximum of two feet into the setbacks on any side of the building that have side setbacks greater than 6' (Manor and Beachside lots only). For construction closer than 6', roof overhangs must be reduced as necessary to limit the edge of the overhang to at least 5' from an interior lot line.
2. Balconies, bay windows, and other similar projections that cantilever from the main volume of the house may project a maximum of two feet into any yard with side yards of greater than 5' (Manor and Beachside lots only). For lots with a 5' minimum side yard, no projections closer than 5' are permitted.
3. Stairs leading from the ground level may project approximately twelve feet into a front or rear yard but may not encroach a utility easement if present. Stairs may not project into a side yard.

The front setback line is a build-to line; i.e., the front edge of the front porch must be placed on this line. The front setback line also represents the front edge of the front porch zone, required for all houses in Beachside Village. This zone shall be a minimum of eight feet deep, typically, and ten feet deep on lots fronting Greenways, and can only be occupied by an open porch.

Front porches shall not be screened in any manner and cannot block the view corridors of neighboring lots. Landscaping in the front yard and porch zones shall be kept low and slow growing. Taller trees are limited to rear yards and within the first five feet of the front property line.



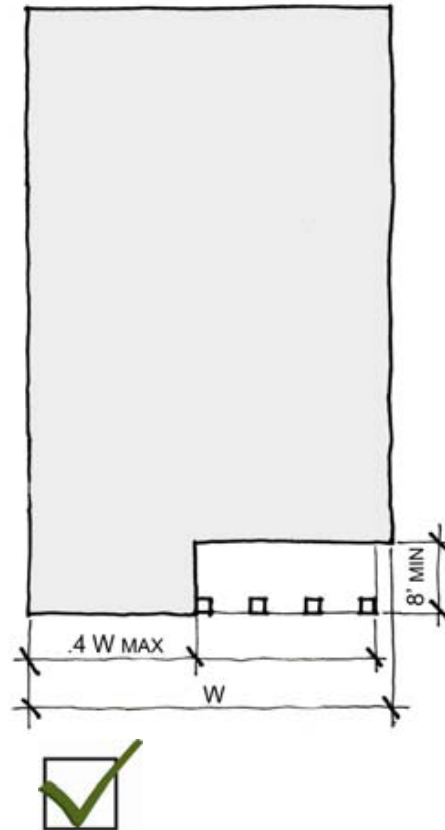
Exceptions:

1. On Cottage lots with a utility easement in the front yard, the front build-to-line may occur between 15' and 20' from the front property line to allow more flexibility for stair design. This condition occurs on the north side of Opihi, Sea Butterfly, and the north side of Starfish.

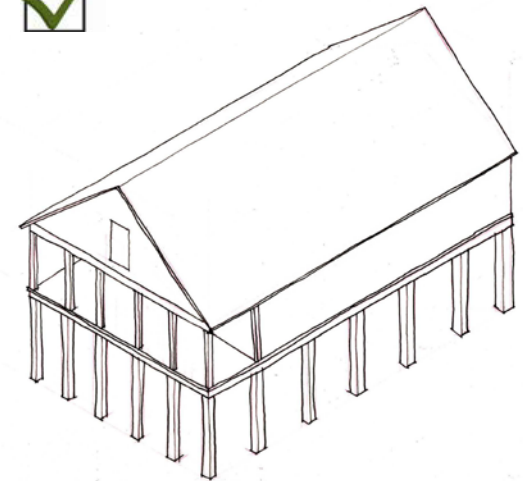
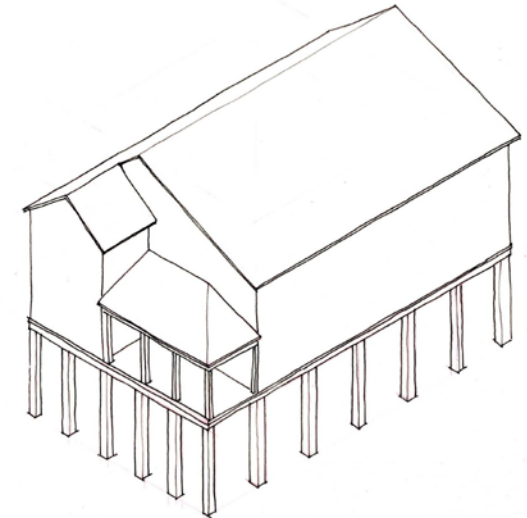
2. Beachfront Lots only. Occupied (enclosed) space extending to the front porch setback line is permissible for a maximum of 40% of the buildable frontage. This provision does not relieve the requirement for a front porch in compliance with Item 4 on Page 26.

The principal elevations of the house shall be parallel to the front property line. Where the front property line is curved, the principal elevations shall be perpendicular or parallel to a straight line connecting the front property corners.

On narrow Cottage Lots, the house may be oriented parallel to the side lot lines if that maximizes the buildable area.



*Occupied enclosed space.  
Applies to beachfront lots only and is optional.  
Occupied gable over porch is acceptable on non-beachfront lots. (see image at right)*

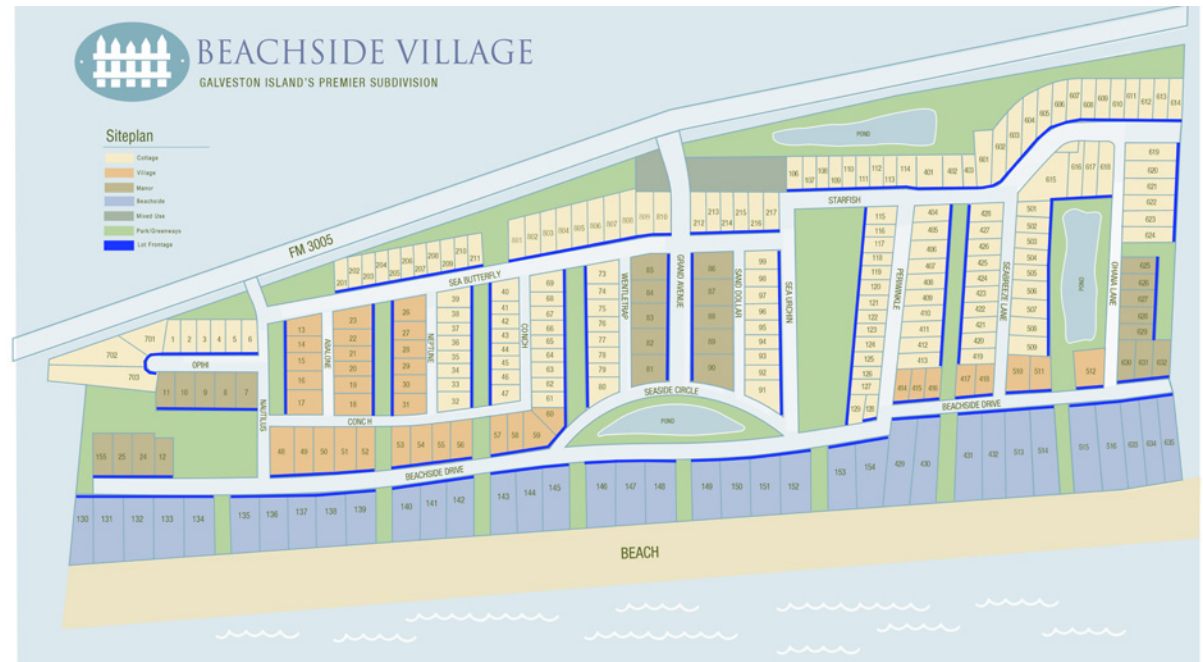


*Acceptable occupied enclosed spaces*

### Lot Frontage

All lots have a side considered to be the front and the house shall be designed to address this frontage. The primary stair and front porch shall be located on this side and the general massing of the house shall acknowledge this as the principal elevation. The frontage for each lot is shown on the plan shown.

For Beachfront lots, the frontage side is the street, or north, side. Any lot that abuts a greenway shall front on the greenway. Other lots shall have a designated frontage side as indicated on the lot frontage map.



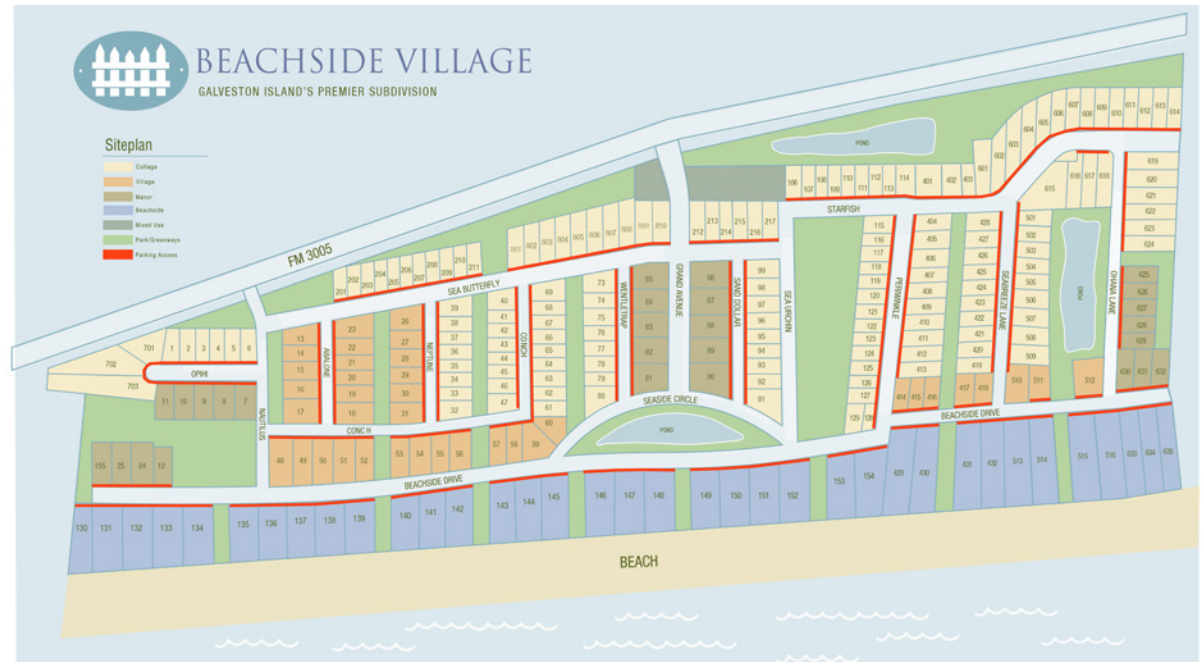
Lot Frontage Plan

### Parking Access

Since the houses in Beachside Village must be elevated above grade, it is anticipated that most owners will park under the house. Parking access onto the lot will be from the street or lane bordering the lot, which may or may not be the primary frontage of the lot.

Driveways in Beachside Village will occur on two types of lot frontage: off the primary street or off an alley or lane. Driveways off an alley or lane are permitted to be more utilitarian than those on primary streets. They can be all concrete and double width. Driveways off of primary streets are built to a higher appearance standard.

The width of the driveway shall be a maximum of 12' feet where it crosses the property line. A maximum of two curb cuts is permitted on each lot for driveway access. All driveways that occur on the lot frontage (that is, on lots that do not have rear lanes) must have an upgraded pavement treatment such as brick pavers. Integral color tone concrete panels are acceptable, provided that they have brick borders at least 8 inches in width.



Parking Access Plan

Each developed lot shall be designed to accommodate a minimum of four off-street parking spaces, either under the house or on the driveway. Tandem parking under the house is encouraged to maximize use of the base zone and to mitigate visible cars on the lot.

**B. Massing and Composition**

**1. General.** Houses should be composed of simple, rectilinear geometric forms. Elements such as side or rear wings may be used when clearly expressed as secondary, subordinate elements by lower ridge or eave lines, different materials, etc. Diagonal walls should be avoided and are generally appropriate only for subordinate elements such as bay windows and towers.

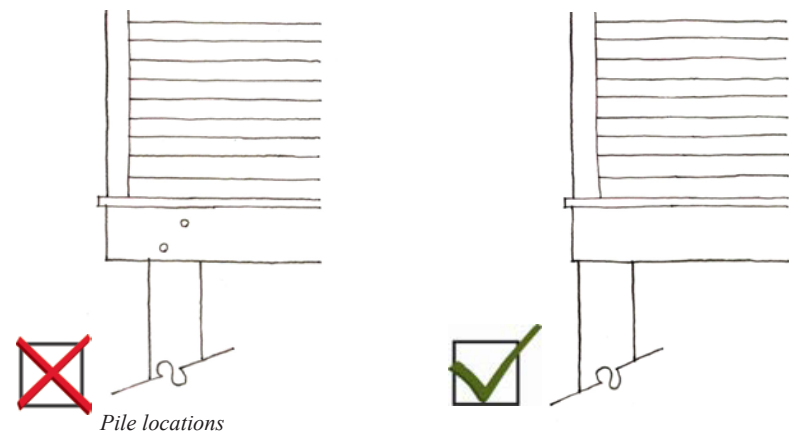
**2. Raised podium.** The nature of the storm hazards on the Gulf Coast dictates that the occupied levels of all houses in Beachside Village are located approximately one full level above grade. This is generally accomplished by raising the main volume of the house on a series of vertical piles. This “house on stilts” look is an essential characteristic of the house, and must be handled in a disciplined and consistent manner. The following provisions apply:

a. Establishing a consistent platform elevation above grade is an important aspect of ensuring a consistent community character. The following elevations, measured to the bottom of the lowest horizontal structure of the platform, are mandatory:

The lowest horizontal stringer elevation shall be set at Base Flood Elevation (BFE) + 2.5 feet. A surveyor can provide the BFE for any lot.

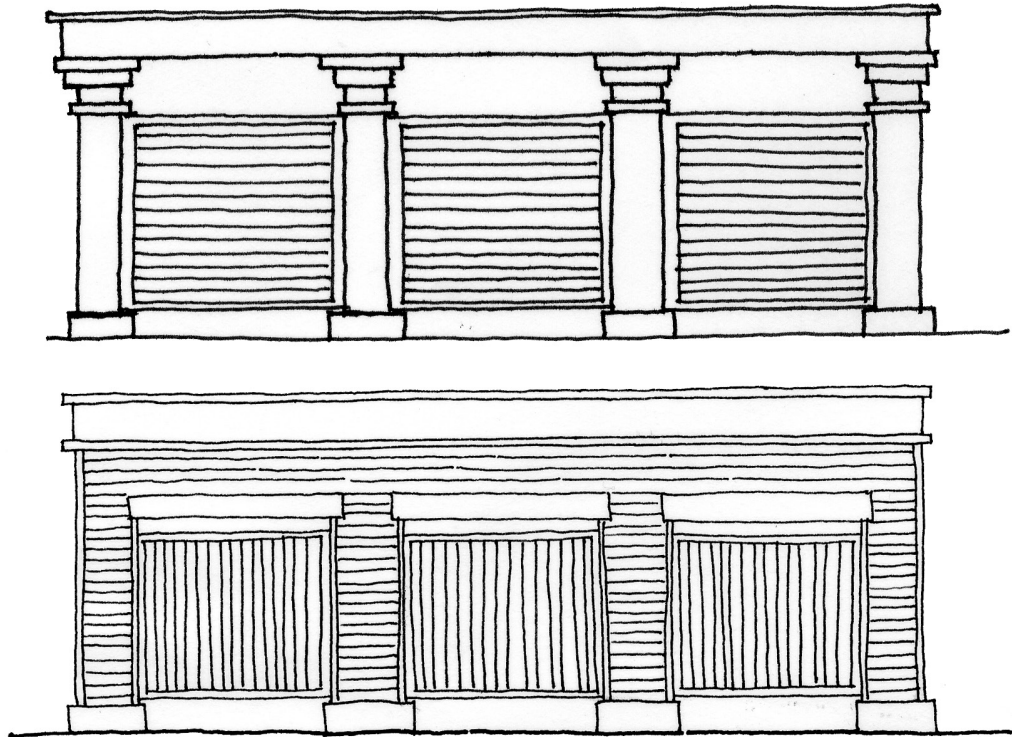
These elevations have been established to provide for a sufficient margin above the required FEMA elevation to qualify for a reasonable discount on hazard insurance. Elevation benchmarks have been set by a surveyor throughout the community to provide consistent control points for setting platform heights. A map of these benchmarks is provided in Section VI of this Pattern Book.

- b. Piles shall be placed in a rational, geometric pattern and evenly spaced, and shall be designed and finished in a consistent manner.
- c. Piles should not be set in from the edge of the floor platform by more than 6 inches, preferably less. The furring of the outer surface to align with the wall above is encouraged. Piles may be furred and framed to appear consistent with the wall material above, as long as the required clear area between piles is maintained.



- d. A variety of screening materials are permitted to frame the openings, provided they meet building code requirements. A screen must be placed between all piles that do not contain a drive.
- e. All portions of the ground floor zone that occur under the enclosed portion of the house shall be screened. This typically does not include areas under decks or porches. Various forms of screening are permitted, including trellis or louvered panels. A maximum of 300 square feet of the area under the platform may be enclosed with solid walls, although any such walls (as well as screens) must be constructed with break-away details to allow the screening or enclosure to break away from the piles in the event of a storm surge.

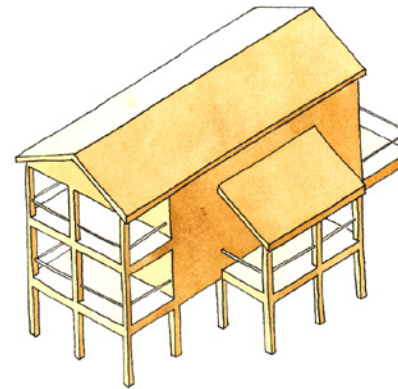
In general, areas under porches or projecting stairs shall not be screened.



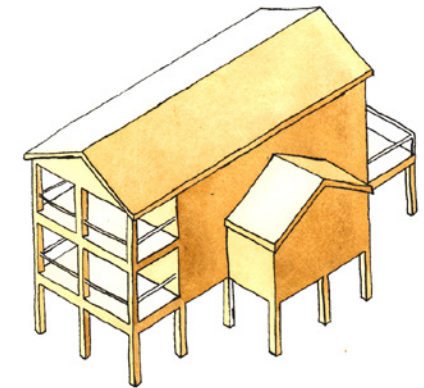
*Openings between pile placement should be screened with some type of closure panel. Any panel should be fastened with a "breakaway" detail in the event of a storm surge.*

**3. Articulation.** The primary, simple volume of the house is allowed a maximum of two horizontal articulations and one vertical articulation. For example, a house with a rectangular plan is allowed to have a maximum of two wings projecting from the main rectangular form. Similarly, this house may also have one vertical articulation such as a setback of an upper story or a tower element projecting above the main volume. Refer to the diagrams on this page for clarity. Note the following provisions:

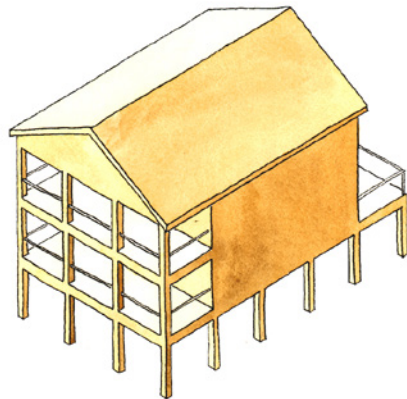
- a. The articulated element, i.e., a side wing or a tower shall be clearly expressed as subordinate to the main volume of the house.
- b. A porch is not considered to be an articulation when it is composed as an integral part of the main volume of the house.
- c. Stairs, sundecks, balconies, dormers, bay windows, and other secondary compositional elements are not considered articulations for the purposes of this rule.



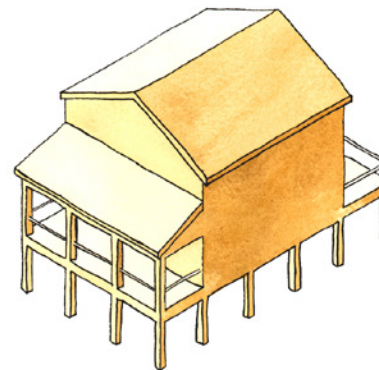
*A maximum of 2 horizontal articulations are permitted.*



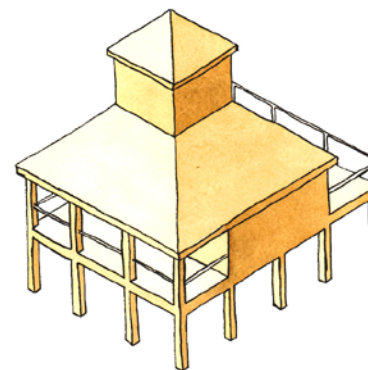
*Articulations should read as subordinate to the main volume.*



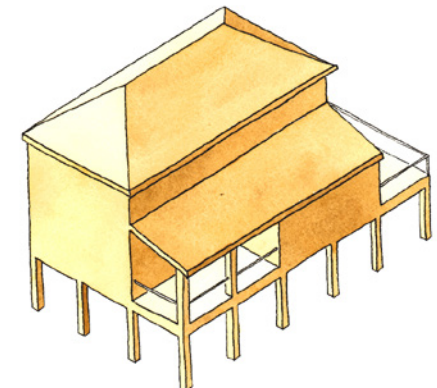
*A porch may be integral to the main volume of the house.*



*A porch may also be expressed as an articulation from the main volume.*



*Second story setbacks or tower elements are considered vertical articulations.*



*Side porches are considered horizontal articulations.*

**4. Porches.** Front porches are required on all houses. Porches shall be a minimum of 12 feet wide and 8 feet deep, and shall align with the front setback line. Enclosed living space or any form of screening may not occur in the front porch zone. Note that there is an exception for Beachfront Lots only that permits a portion of the front porch zone to contain enclosed space (see page 19.)

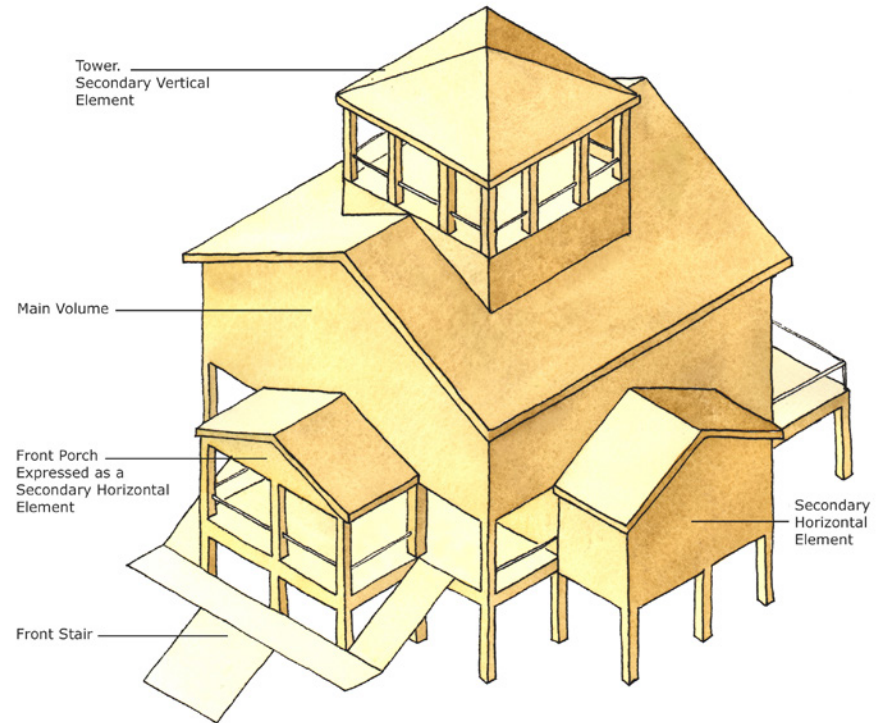
On corner lots, porches should wrap the corner and continue along the corner side for a minimum of 12 feet. Note that this is a recommendation only, however, side facades facing a street or Greenway shall be treated as primary elevations with appropriate openings, porches, and other distinguishing features.

**5. Floor Elevation.** The primary occupied level shall be elevated to 2.5' above the required FEMA elevation above the mean high tide, corresponding to about 12 feet above the prevailing natural grade. The parking slab under the building shall be set at 12 inches above the highest point of the road fronting the lot.

**6. Roofs.** Roofs shall consist of simple geometric forms such as gabled or hip styles. The required roof pitch for the principal volume of the house shall range from 5:12 to 8:12, however, different roof pitches are permitted for subordinate elements such as porches or towers. Shed roofs are permitted only for subordinate elements such as porches, and must frame into a wall. Flat or low-pitched roofs may also be used for subordinate elements, but must be screened by parapets on the street façade.

**7. Gables.** A maximum of two street facing gables are permitted on the front façade, excluding dormers and wall dormers.

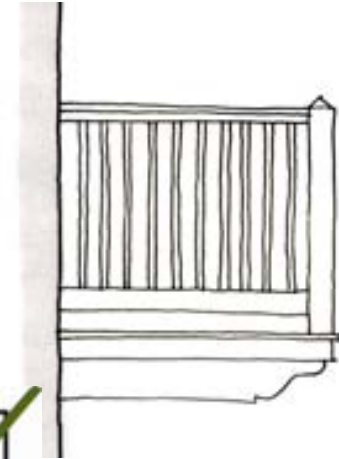
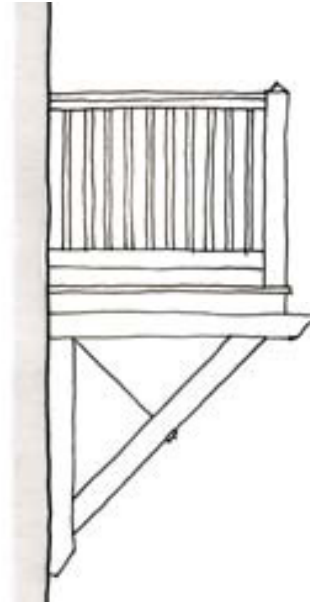
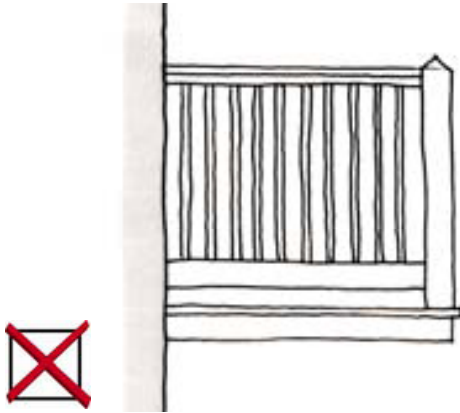
**8. Dormers.** Dormers are encouraged, particularly on large expanses of roof.



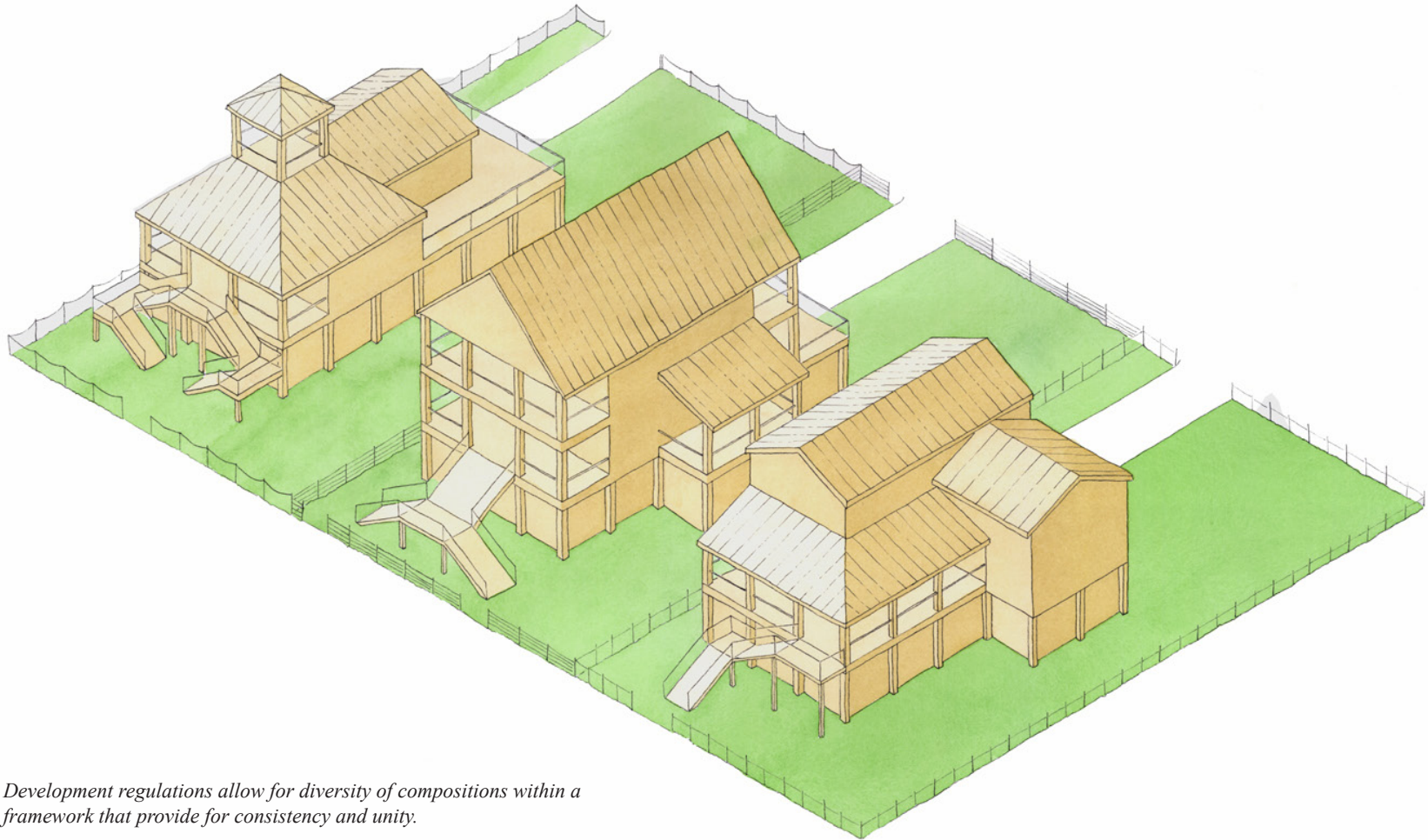
*Elements of the Beachside Village house*

**9. Towers.** Towers may be used as a compositional element and are considered to be a vertical articulation. Towers may include occupiable space above the second floor, not to exceed 200 square feet excluding the stairway. Towers shall have the same roof material and architectural detailing as the rest of the house, and shall have openings equal to a minimum of 50 percent of the length of the tower walls.

**10. Bay Windows, Balconies, and other Projecting Elements.** A projecting element shall be provided with some visible means of support, whether or not this is the actual structural support. Such support elements shall consist of two distinct elements: a horizontal band that expresses the floor platform of the projecting element, and, below this, some type of corbel or bracket that appears to support the platform.



*Appropriate visual support for projecting elements*



*Development regulations allow for diversity of compositions within a framework that provide for consistency and unity.*



*This elevation shows a simple, dignified massing that would be appropriate for a smaller house. Note the classic proportions and the strong symmetry with an emphasis on the central bay. The picket fence indicates the private realm yet the stair composition forms an open and inviting element.*



*This elevation depicts a simple main volume enhanced by two smaller side wings and a tower/observation deck. This decidedly vertical composition would be appropriate for an interior lot, with the ability to capture gulf views from a distance. In this case, the stair leads to a small porch, but still addresses the lot frontage in a straightforward, direct manner.*

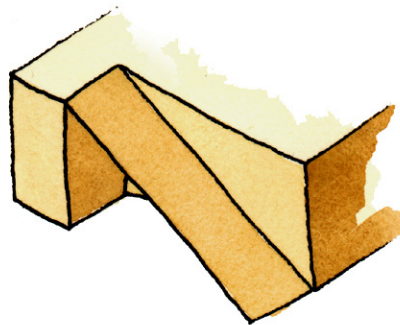



*The above elevation could be construed to have too much articulation to meet the rules described here, however, this would be considered an acceptable massing. The tower and the side wing are clearly articulated from the primary volume, but the roof deck and half-gable over the doorway are expressed as minor elements and well-integrated into the overall composition. This elevation conveys an idea of the range of possibilities inherent in these design standards. Note also how the stair makes a welcoming gesture and helps to make a human-scaled transition to the level of the porch.*

C. Key Elements and Details

1. **Stairs.** Exterior stairs are required to access the occupied first floor of the house, located approximately one floor above grade. The primary stair, located along the frontage side of the house, is considered a major element defining the character of the Beachside Village house. This stair is subject to the following provisions:

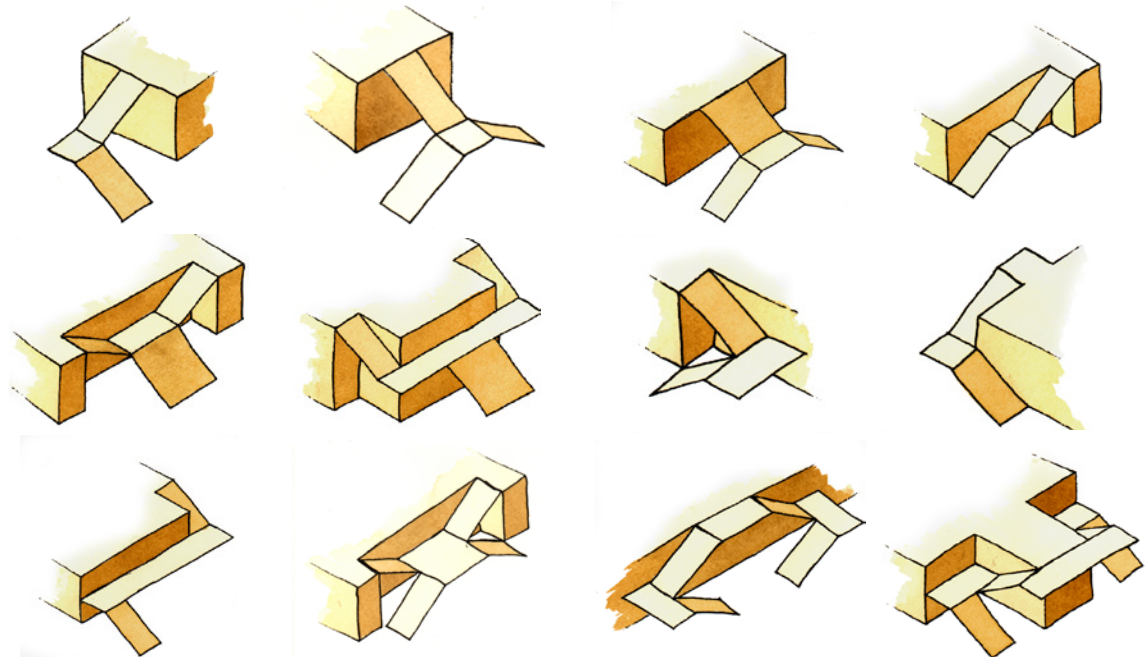
- a. The Primary stair shall be a minimum of four feet wide.
- b. The stair shall lead to the front porch of the house.




 *Straight run stairs with no landings are not permitted.*

c. **Landings.** The stair shall have a landing at the approximate halfway point of its rise. The landing length shall be at least as long as the width of the stair. The landing should be considered as a secondary deck space that helps to make a visual transition from the ground plane to the occupied level. Elements that

enhance the landing beyond its functional purpose are encouraged, for example, projecting bays, special baluster treatments, etc. Secondary stairs, i.e., those leading to sun decks at the rear of the house, may be single flight stairs as long as they meet the appropriate provisions of the building code.



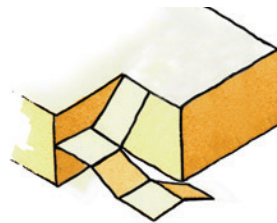
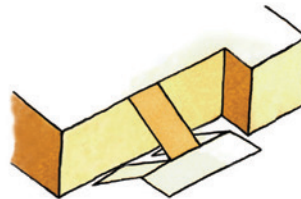
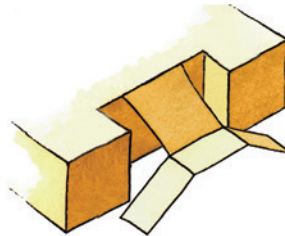
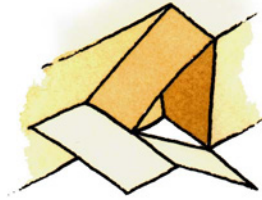
 *Stairs are required to have at least one landing and should be of an open, welcoming design. Changes of direction or compound of stairs are encouraged.*

d. Generally, the primary stair is intended to project into the front yard, in front of the front porch. The primary stair may also be located partially in the front porch zone, provided:

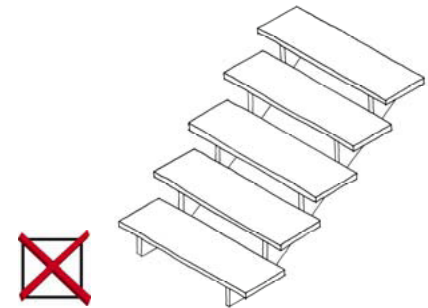
- i) There is a front porch meeting the minimum dimensions and provisions of this Code, in addition to the stair.
- ii) A portion of the stair shall project a minimum of five feet into the front yard.

This provision is particularly to be applied in situations that have limited front yard space, i.e., Cottage Lots with a utility easement occurring in the front yard.

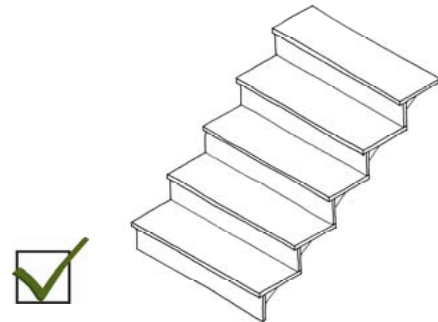
e. All stairs shall have closed riser faces. Open riser stairs are not permitted.



*Primary stairs may be located in porch zones on limited front yard lots*



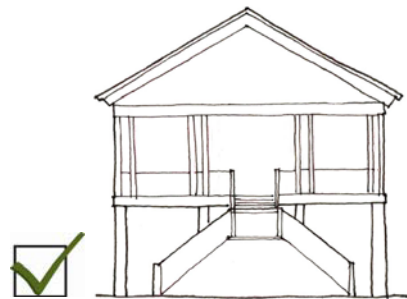
*Open risers are not permitted on primary stairs*



*Closed risers on primary stairs*

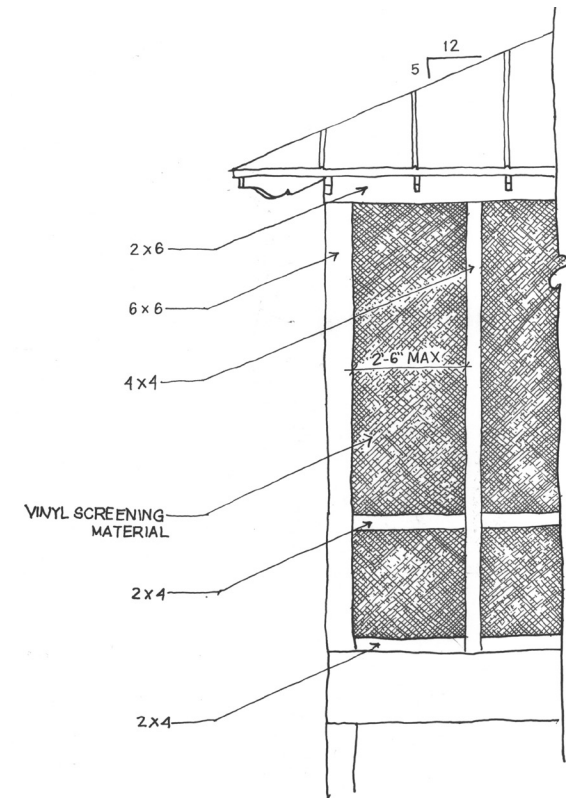
**2. Porches.** Porches are required on the front of the house and may be used on other sides. On side or rear elevations, porches shall be a minimum of eight feet wide and six feet deep. Porches must be roofed in an architectural style consistent with the design of the house. Porch guardrails shall be composed of repetitive elements such as balusters that give an open, semi-transparent quality to the guard-rail. Rear and side porches may be screened. Screen system shall be composed of a high quality vinyl or fiberglass with snap in trim, copper screens are not permitted.

Front porches shall be a minimum of 8 feet deep, which is the depth of the porch zone as defined by setbacks and building lines. For lots fronting on Greenways, that is, where the front porch is perpendicular to the beach, the front porch shall be a minimum of 10 feet deep. This is intended to increase the open view corridor toward the beach. In these cases, the front of the porch shall be placed at the porch building line, while the enclosed space will be set back at least 2 feet behind the front building line.



*Porch column spacing*

The front or main porch should have an even number of columns and an odd number of bays. The column spacing should be consistent. An uneven column spacing may be justified in special circumstances, as in a wider central bay to emphasize the entrance.

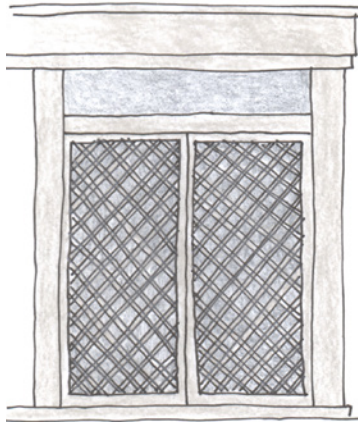


*Porch screening*

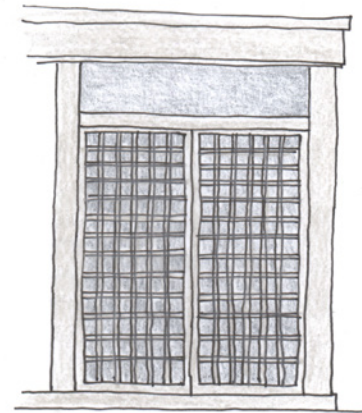
Column placement should reinforce good design principles. A central column in a symmetrical facade tends to look awkward and unbalanced; one expects to see an opening at the center. A center column may be unavoidable for narrow lots that need a double garage, but this can generally be limited to the rear elevation.

**3. Sun Decks.** Sun decks, or uncovered porches, may be located on the side or rear elevations of houses. Sun decks may also be located on the roof or second living level of any house. Sun decks should be enclosed by guardrails compatible with the design of the house. The guardrails may be solid or composed of a series of open balusters.

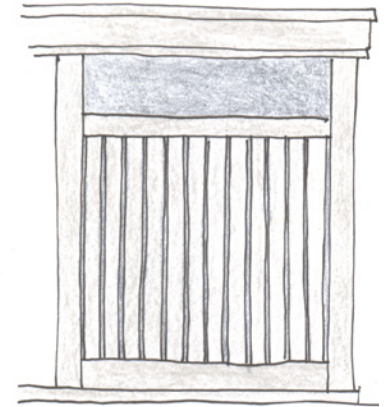
**4. Privacy Screens.** The area under the house shall be screened in order to mitigate the “house on stilts” look. This screening may be of a variety of designs, as shown on this page, but must appear to be an in-filled panel and must be of a suitably permeable or break-away design in accordance with the building code.



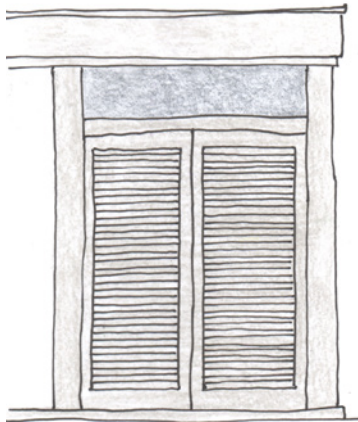
DIAGONAL LATTICE



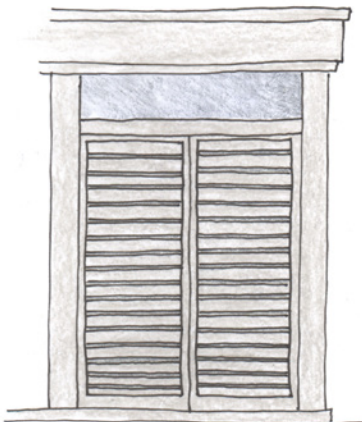
SQUARE LATTICE



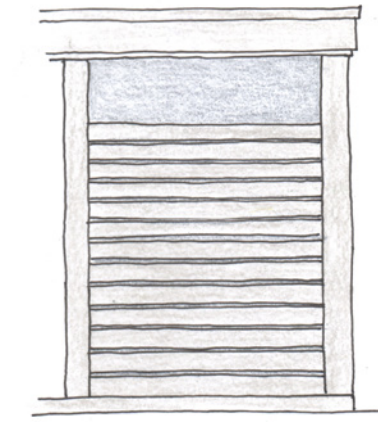
SPACED VERTICAL BOARDS



LOUVERED PANELS



LARGE LOUVERED PANELS



SPACED HORIZONTAL BOARDS

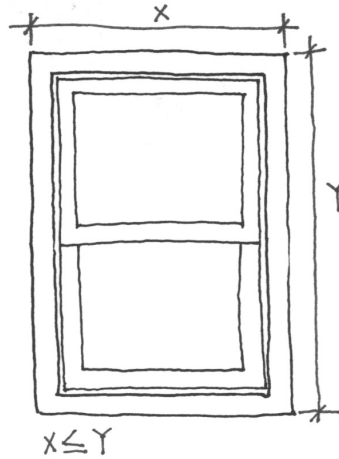
*Types of allowable privacy screens*

**5. Windows and Doors.** Windows and doors shall be made of wood, vinyl-clad wood or vinyl. Windows shall be hurricane proof. Insulated glazing is encouraged. Windows, doors, and trim should be compatible with the architectural style. Operable windows may be single hung, double hung, or hinged casement. Any single window should be vertically proportioned, i.e., taller than it is wide, although several windows may be grouped into a horizontal element.

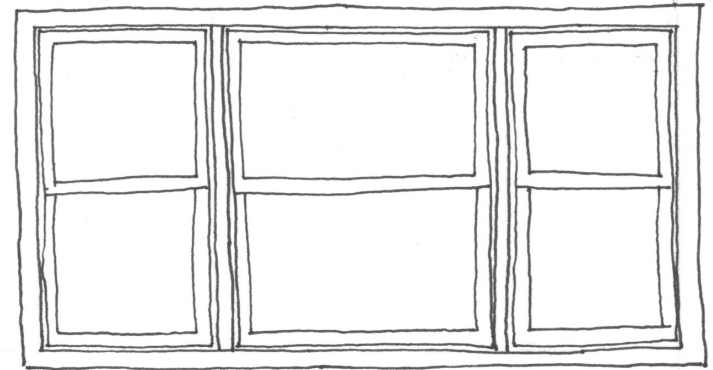
Style and trim of windows shall be consistent with the means and methods of wood frame construction. Widespread use of arched windows is not appropriate.

Proper window trim is an important element of the architectural character. Window trim shall mimic a post and lintel design, that is, the jamb trim shall appear to rest on the sill and the head trim shall appear to rest on the jambs. Head trim should be deeper, generally at least a 1x6, while jambs and sills are typically 1x4 members. More detailed profiles are also permissible, such as a cornice molding on top of the head trim.

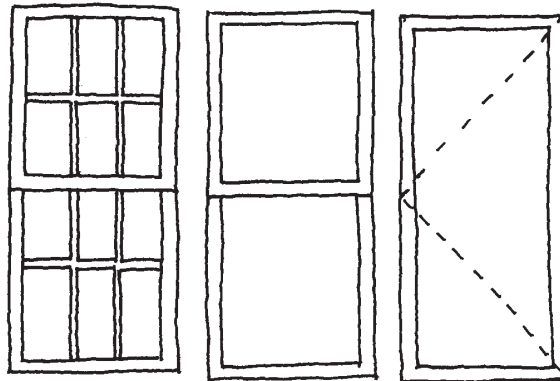
Mitered trim is not permitted, except for the occasional specialty window, (in a gable, for instance.)



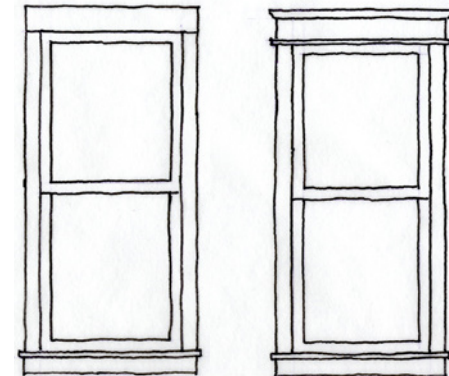
*Windows should be vertically proportioned.*



*Windows may be combined to form horizontal elements.*



*Single hung, double hung and hinged casement windows are permitted*



*Window trim should be compatible with the architectural style of the rest of the house.*

**6. Shutters.** Shutters should be real, operable units, but, in any case, shall be correctly proportioned to the window opening, i.e., with a width equal to one-half of the window width. Shutters are not permitted on double or triple windows. Rolling shutters are not permitted.

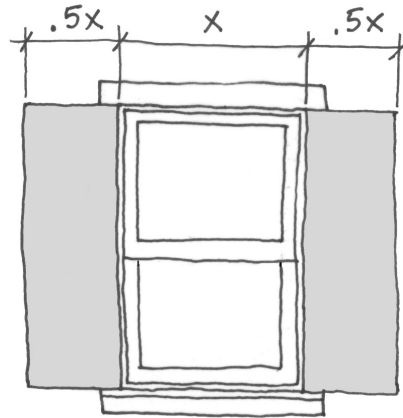
Faux shutters may be used to give the illusion of a shuttered window. Any faux shuttered opening shall be trimmed and detailed similar to other windows.

**7. Specialty Windows.** Specialty windows include such shapes as circles, ovals, and fans. They shall be used sparingly, generally only for accent purposes, and are not required to be operable. They shall be of similar materials and construction as the other windows in the house and compatible with the architectural style.

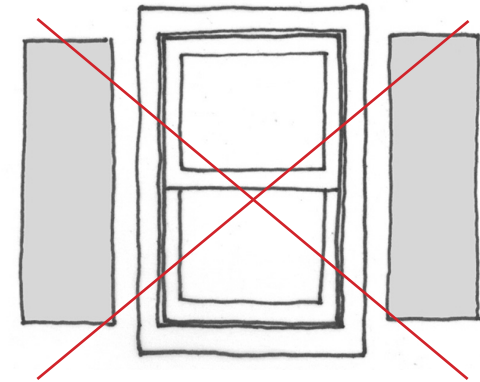
Arched windows are not appropriate for widespread use, but may be used as accents in special conditions such as gable ends.

Glass block is not permitted.

Specialty windows are reviewed and approved on a case by case basis.

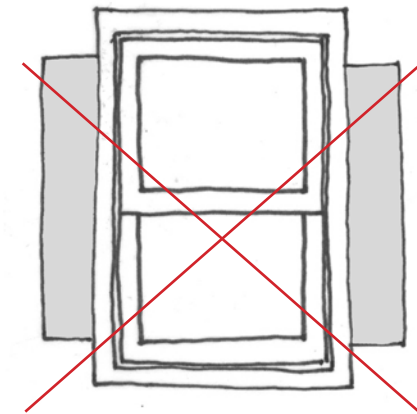


*Shutters should be operable, but must be correctly proportioned.*



*Unacceptable shutters - Attached to wall*

**8. Exterior Doors.** Front doors shall be painted or stained wood. Wood paneled doors and doors containing glass lites are encouraged. The style of the door should be compatible with the architectural style of the house.



*Unacceptable shutters - Too Small*



*Windows should be vertical*



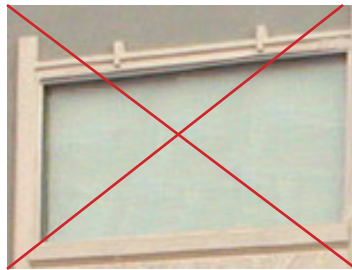
*Operable shutters are encouraged*



*Bahama shutters are permitted*



*Horizontal windows are not permitted.*



*Large picture windows are not permitted.*



*Rolling hurricane shutters are not permitted.*



*Shutters must fit proportionally with the window.*

**9. Floor Heights.** Floor heights, as measured from the floor substrate to the top of the wall plate (conventional framing dimensions) shall be as follows:

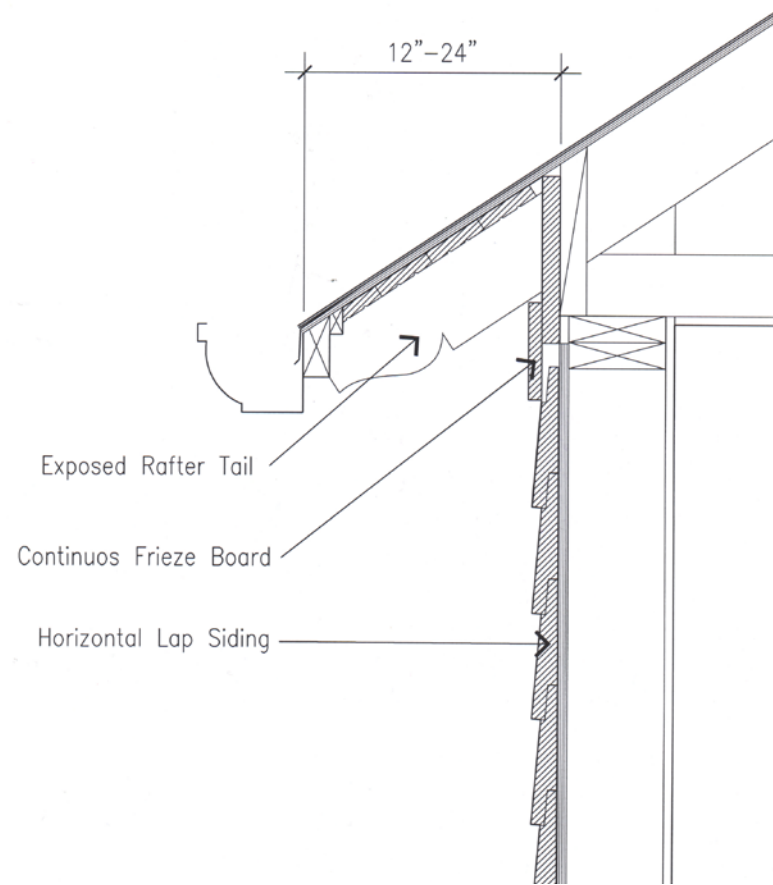
- a. First Floor: 9'-0" minimum.
- b. Second Floor: 8'-0" minimum.
- c. Half stories: 5'-0" minimum at the knee wall.

**10. Head Heights shall be as follows:**

- a. 8'-0" for floor heights of 9'-0" and greater.
- b. 6'-8" for floor heights of less than 9'-0" and half stories.
- c. Specialty windows and transoms may vary.

**11. Roof Overhangs.** Overhangs are required for all pitched roofs. Eave overhangs shall be 12 inches, minimum, measured horizontally from exterior wall face to outside of fascia board. Gable rakes shall overhang a minimum of 8 inches. Exposed rafters are required for all roof overhangs.

For lots located in Phases III and IV, no structure, including overhangs, may occur within five feet of the side lot lines. Lots in Phases I and II may have overhangs no closer than four feet to side lot lines. (See p. 17 & 18 for map indicating Phases.)



*Typical Eave detail*

**12. Porches.** Porches shall be framed by columns spaced a maximum of 8'-0" on center. Columns shall be a minimum of 4 inches square or turned (nominal dimensions) up to a maximum of 12 inches on major porches.

Columns shall support a dropped beam, minimum six inches below the soffit, and the same width as the column. Balusters should be square with tight spacing, or simple cut-outs from wide boards.



*Typical porch construction*

**13. Fireplaces.** Due to the elevated design of the house, true masonry fireplaces are neither feasible nor appropriate in Beachside Village. Fireplaces, either wood-burning or with artificial logs, are permitted. If projecting from an exterior wall of the house, the fireplace shall be finished with exterior wall materials similar to the rest of the house. If located away from an outside wall, the projection of the flue above the roof shall be framed and finished in a material and manner compatible with the exterior walls.

**14. Elevated walkways.** Elevated walkways may be constructed between houses on adjacent lots, subject to the consent of all affected homeowners. Such walkways must

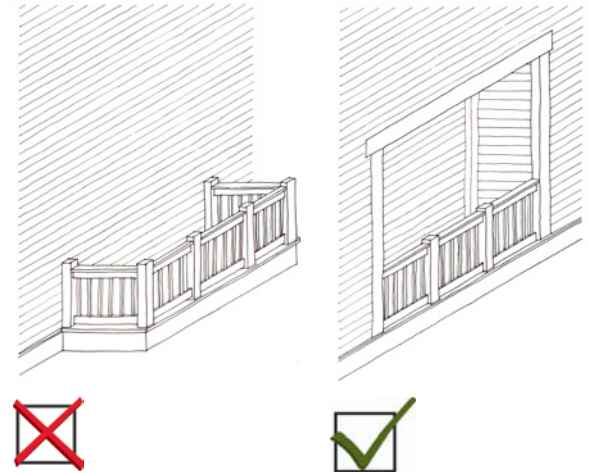
occur at the first level, must join houses set at the same floor elevation (no ramping permitted) must be a maximum of 6 feet wide, and may be covered but not enclosed.

**15. Mechanical equipment.** Any mechanical equipment located on the exterior of the house (A/C condensing units, gas and electric meters, utility pedestals, ect.) shall be screened from public view by privacy screens. Landscaping may also be used where the use of screens is not practical. Where A/C condensing units are platform mounted, the platform shall be integrated into the design of the house. Cantilevered platforms are not permitted on the front or side elevations. Platforms shall not project into a side yard setback.

Self-contained window air conditioners are prohibited.

Plumbing vents shall, to the greatest practical extent, be located out of sight from the frontage of the house.

Satellite dish antennas shall be mounted in discrete, unobtrusive locations out of direct view from the frontage of the house.



*Appropriate mechanical platforms*

**16. Green Building Practices.** Green building practices such as the use of local, renewable materials, is encouraged. Energy saving strategies are also encouraged. Many of these practices, while optional, will not have a visible effect on the overall esthetics of the house. Certain alternative energy strategies, however, will have a visible effect. Note the following requirements:

Solar panels may not be located on any roof plane visible from the lot frontage. If the preferred orientation for the panels needs to face the frontage, the form and massing of the house shall be configured to provide an appropriately oriented roof plane in an unobtrusive location such as on an interior court or a side wing.

Wind turbines are discouraged, but must be hidden from view from the main house frontage.



*These solar panels are located on the rear facing plane of the roof.*



*A wind turbine is too much of an anomaly to fit in. They may be used if not visible from the street frontage.*

**D. Exterior Materials and Finishes.**

**1. Walls.** Exterior walls shall be finished with horizontal lap siding, which may be composed of wood or Hardiplank. No vinyl or aluminum siding is permitted. Stucco is not permitted. Siding must consist of individual boards; pre-manufactured sheets are not permitted. Trim shall be wood or Hardiplank.



Decorative wood shingle patterns are permitted for accent elements such as gable ends. Acceptable patterns include overlapping “fish-scale” or diamond patterns. “Shake” style shingles as well as board and batten finish may also be used in limited areas, although the majority of the house shall be the horizontal lap siding. Shingles shall be painted to match or harmonize with the primary house color.

**2. Roofs.** All roofs shall be of aluminum material. Galvalume or other galvanized sheet steel materials will not hold up long term in the salt air environment. Nevertheless, the desired esthetic effect is to mimic a “metal roof.” Finish can be mill finish or clear anodized, as well as any metallic coating that resembles galvanized metal. Pattern may be standing seam, batten seam, 5V crimp, or Bermuda style. All flashing shall be of matching aluminum material.



*Painted shingles may be used to accent an area.*

**3. Windows.** Wood frame or clad “profile” type with wood look is required. Economy aluminum windows are not permitted.

**4. Doors.** Wood paneled doors or vinyl-impact doors are required for front entrances; they may contain glass lites and must be painted or stained.

Screen doors shall be wood, of simple stile-and-rail designs. Screen doors shall be finished to match the weatherproof finish of the doors and windows (i.e., painted or stained) and shall be constructed of treated material.

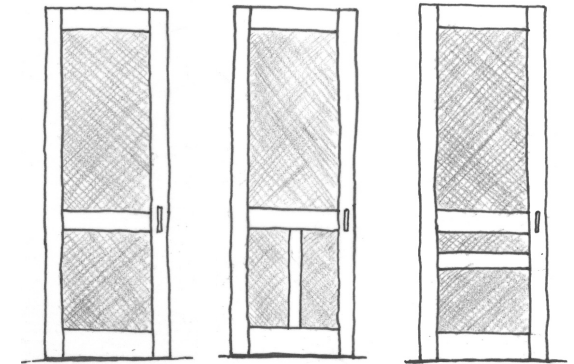
**5. Trim.** Hardi-board or an equivalent cementitious material should be used wherever possible. Wood shall be paint grade “B & Better” and should be treated. Corner boards and opening trim shall be minimum 3.5 inches wide, cornice boards and fascias shall be minimum 5.5 inches wide.

**6. Colors.** Bright or pastel colors in a variety of hues, generally no less than 30 percent light reflective, are acceptable for field colors for wood siding. Brown and beige tones should be avoided; the intent is to create a bright and festive atmosphere.

Darker colors should also be avoided, particularly red tones, as they have a tendency to fade quickly. Wood trim shall be white as noted on page 15. All exterior paint in Beachside Village shall include mildicide.

**7. Fasteners.** All fasteners exposed to the weather, including structural bolts, or used to fasten exterior materials, shall be of stainless steel. All fasteners used for exterior materials shall be stainless steel, even when they will be covered up. Not using stainless steel fasteners will cause the fasteners to rust and stain the exterior finish of the house, requiring frequent maintenance, and may ultimately affect the structural integrity of the house. It is understood that hurricane clips may not be available in stainless steel; these may be of galvanized material.

Stainless steel through bolts with stainless steel washers and nuts are required for connecting the platform stringers to the tops of the piles. Stainless steel threaded rod, cut to length, and with nuts at both ends may also be used. Lag screws are not permissible.



*Acceptable screen door designs.*

**8. Flashing.** Stainless steel is required for any exposed flashing. Flashing with a horizontal drip edge (such as roof eaves) or above doors and windows shall be stainless steel.

**9. Mailboxes.** Mailboxes may only be installed and used by permanent residents. All mailboxes must be standard, white plastic boxes affixed to a white post.

### Site Elements

Site elements are a critical component contributing to the overall character of Beachside Village, and are subject to strict standards as described in this section. Site elements are subject to the same review procedures as for any proposed construction. Plans showing locations of trees, shrubs, walkways, driveways, fences, elevation changes, irrigation systems and exterior lighting shall be submitted to the community association's designated agent for review and approval prior to installation of any of these elements.



*Typical Beachside Village landscape.*

### A. Landscaping

The environment of Beachside Village is characterized by extreme conditions ranging from hot and very dry to frequent heavy rains. The intent of these landscape standards is to provide residents and property owners with specific information regarding trees and plants best suited for use in Beachside Village, and to establish general guidelines for their use.

The landscaped areas of lots consist of all areas not under the footprint of the house. These areas are subject to the following provisions.

1. No more than 50 percent of the landscaped area should consist of lawn. The balance should be planted beds.
2. A majority of the plant materials must be selected from the “List of Recommended Landscape Plants” that follows this section. Plants on this list are especially suited to the climatic conditions of the site.
3. An automatic, underground sprinkler system is strongly recommended, particularly for houses that will not be continuously occupied.
4. The use of ornamental grasses and ground covers is encouraged as a field material for planting beds.
5. Mulch to a depth of 3 to 4 inches should be maintained on all planting beds.
6. Every developed lot shall have a minimum of two slow-growth palm trees in the view corridor and two larger palms placed outside of the view corridor. Broadleaf trees of any species are strongly discouraged. Trees shall not be placed so that they obscure any view corridors to the Gulf.
7. Landscaping shall not be overdone so as to substantially obscure the structure. Excessive use of fast-growing trees will not be permitted. The landscaping is intended to play a supporting role in highlighting and enhancing the architectural design.

Homeowners are advised that the view corridors, i.e., those vistas along the front yards and front porch zones on streets perpendicular to the beach, are intended to maximize the views toward the beach. Any landscaping that grows into the view corridor above the platform elevation shall be cut back or removed by the Homeowner.
8. Walkways, paths, etc., shall be constructed of porous materials such as crushed stone, caliche, concrete pavers, or mulch.



**Trees:**

- Sabal Palm\*
- Pindo Palm
- California Fan Palm
- Mexican Fan Palm
- Canary Date Palm

**Shrubs:**

- Natal Plum\*
- Zebra Grass
- Miscanthus Grass
- Sago Palms
- Hibiscus
- Ixora
- Pennisetum Grass\*
- Pampas Grass\*
- Dwarf Oleander
- Purple Fountain Grass
- Dwarf Fountain Grass
- Indian Hawthorne\*
- Eleagnus\*
- Pittosporum\*

**Vines:**

- Confederate Jasmine\*
- Honeysuckle
- Carolina Jessamine\*
- Bougainvillea

**Ground Cover:**

- Wedelia\*
- Asian Jasmine\*
- Ice Plants\*
- Asparagus Fern\*

\*Denotes first row plants that are particularly hardy

## B. Fencing

A fence is a traditional means of articulating public space from private space. Fences may also provide a support for vines, a backdrop for flowers, and a means of projecting the architectural style of the building to the street.

Fences in Beachside Village serve two basic purposes:

- Privacy screens are both high enough and opaque enough to restrict the view of pedestrians into private areas or unsightly elements. These are typically used to screen elements such as mechanical equipment or car parking.
- Front yard fences are intended primarily to define the boundary between public and private space, and are generally not meant to obscure views or to provide security against determined intruders. They are usually no more than waist high and are fairly open and transparent.

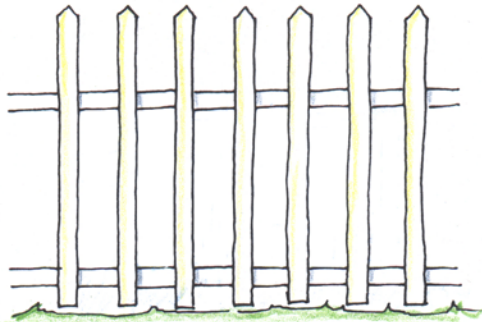
Privacy fences should be about 6 feet high and should be constructed of wood. Typical applications would include the enclosure between the pilings of single-family homes and the screening of such elements as dumpsters and mechanical equipment ( 6 foot high privacy screens in Beachside Village shall only be located below the house)

Limited areas of 3 foot high privacy fencing shall be permitted to screen elements such as transformers, trash receptacles, etc. if they are integrated into the picket fencing in a harmonious manner. In such cases, the screening should be a variation of the picket design and shall be painted white. Privacy fences along the picket fence shall be limited to the service side of the lot.

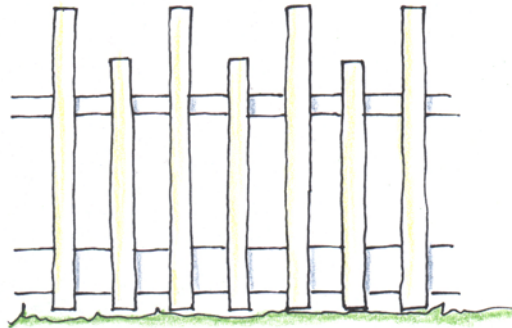
Old-fashioned wood picket fences are required for the yards of residences. Such fences should be located in a consistent fashion along the property lines, so that all houses on a block face have a similar fence condition. Picket fences shall be punctuated by vertical wood posts spaced between 6 and 8 feet on center and differentiated from the pickets. Posts may exceed the picket height by up to 12 inches, and decorative finials or moldings are encouraged. Picket panels should be about 36 inches in height and consist of repetitive pickets, predominantly vertical, that leave at least 35% of the area open. Pickets may be nominal 2 x 2, 1 x 4, or 1 x 6 boards. Picket panels should exhibit a variety of designs from house to house; and individual expression is encouraged. No two houses on the same block face may have identical picket patterns. Paint color shall be white.

The intent is for all sides of the houses to be fenced. Individual homeowners are responsible for fencing the front, rear and street sides of their lots. Common sides may either be fenced by the first owner to construct his house, or be shared by mutual agreement of the two lot owners.

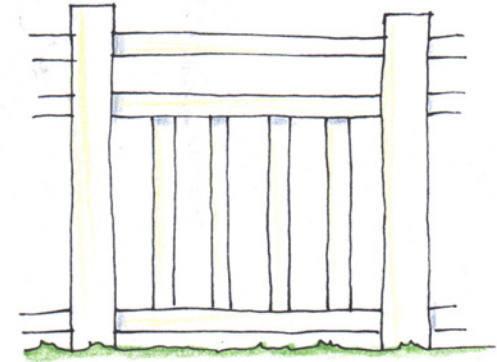
Fence Types



PICKET



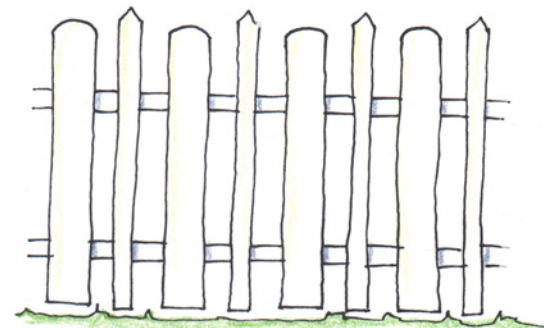
PICKET



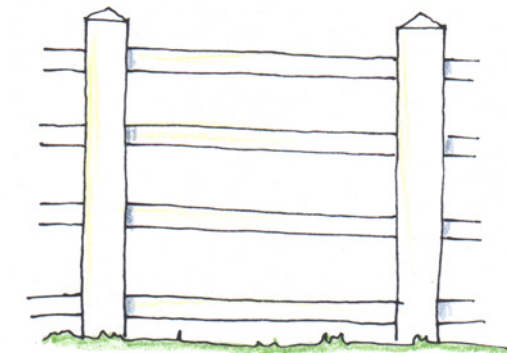
COMBINATION HORIZONTAL  
AND VERTICAL BOARDS



BOARD WITH CUTOUT



COMBINATION BOARD AND PICKET



HORIZONTAL BOARDS

### C. Lighting

Exterior lighting is required for all buildings. Exterior lighting shall consist of a variety of fixtures, some of which shall be on a photocell control so that some amount of lighting is operational regardless of whether the home is occupied.

1. Exterior lighting should be restrained and limited to the immediate need, i.e., lighting a path. Aiming and orientation shall be away from neighboring properties and downward in accordance with ‘dark skies’ principles. Lighting intended to illuminate the occupied areas of porches may be of brighter wattages.
2. All exterior lighting should have LED lamps.
3. Exterior stairs shall have light fixtures that are on a photocell control.
4. There shall be at least one fixture near the front door on a photocell control. There shall also be at least one fixture at the rear of the house on a photocell control. Other lighting at porches, decks etc., may be placed at the homeowner’s discretion and manually switched as desired.



## D. Paving

1. Driveways may be constructed of concrete, but enhanced or alternate materials are strongly encouraged. Enhanced materials are required on beachfront lots and front-loaded lots that have more than one driveway.
2. Concrete may be enhanced by integral colors, exposed aggregate finish, or stamped patterns similar to “Bomanite.”
3. Alternate paving materials include concrete pavers in a variety of patterns, including grass pavers. Crushed stone and decomposed granite may also be used, but must be framed by concrete edges to contain the material.

## E. Graphics and Signage

All of the signage in Beachside Village shall fall into one of the following categories:

1. House Numbering.
2. Temporary Signage.
3. On-premises Signage. (commercial buildings only.)
4. Project Identification Signage.
5. Vehicular Direction and Control Signage.
6. Pedestrian wayfinding and Information Signage.

The latter three categories will be provided by the developer of the community, not by the individual home owner or builder.

### 1. Address Numbers.

All residential and commercial buildings shall have a building-mounted address, consisting of the address numerals only. Numerals must be mounted near the entry and shall be clearly visible from the street fronting the building. Address signs may be individual numerals or a decorative panel compatible with the architecture of the building. The height of the numerals is limited to a maximum of 6 inches. Panels are limited to approximately 1 Square foot in Area.

Individual houses may be named (e.g., “Castaway Cottage” or “Dune View.”) Names may be displayed on the same panel as the address numbers, with the size of the panel not to exceed 2 square feet.

## 2. Temporary Signage

A variety of temporary signs are necessary for commercial viability, promotional purposes, and special events. They shall be permitted, subject to the following provisions:

**Announcement Sign (commercial only).** This sign, fairly large in size, would be the first sign installed, and would note the timing of the development, i.e., “Coming Soon.” It may provide names and/or phone numbers for interested tenants or purchasers, and also may identify the builders or others who have an interest in the project, i.e., banks, name tenants, etc.

**Real estate sales and leasing.** No real estate sales and leasing signs shall be displayed on the property.

**Open House Advertising.** Only homes that are available for sale may be advertised and held as an ‘open house.’ A licensed Realtor or assistant must be present during the open house. No banners or flags are allowed.

**Open Houses.** Open houses may only be held between the hours of 1 and 3 pm on Saturdays or Sundays. Directional signage is permitted.

**Political Signs.** Political yard signs and window signs are not permitted in Beachside Village.

**Construction Signs.** Construction signs that primarily advertise the builder or architect shall be limited to one standard sign; the design may be obtained through the HOA. No more than one construction sign is permitted for any project.

**Special events.** The community may wish to adopt a special program of banners, lighting effects, and other elements for seasonal events such as Christmas. Such a program shall be designed to blend appropriately with the architectural character of the community. The decorations or special effects permitted by private tenants shall be considered as a part of the overall program, so that a detailed set of guidelines will be issued to which tenants must conform. The light poles in the commercial areas have been designed to accommodate these items.

### 3. On-premises Signage (Building Signs)

This includes building mounted signs for commercial areas. Two types are most commonly used; those mounted on the building face and addressed to the vehicular traffic or to a person across the street, and “projected,” perpendicular “blade” signs addressed solely to the pedestrian walking along the building face. This also includes hanging signs, generally in arcade areas.

**Building-mounted Signs.** Signage mounted on the building face should be contained within a clearly articulated sign band, designed specifically to harmonize with the architectural façade. Such signs may be located above the storefront elements, or may be on an upper story. Signage should not obstruct any architectural elements, decorative moldings or cornices. Signage shall not be located on the roof or above the eave line of a pitched roof.

Since this is primarily a pedestrian-oriented environment, the size and location of signs and lettering should be directed to eye level at a distance of 30-100 feet. The signs should be of wood or metal with applied or painted letters. Letter forms mounted on the building face are also acceptable. Logos and standard trademarked graphics may be used as elements of the sign. Signs should be up-or-down lit by traditional light fixtures.

Building-mounted signs shall be in scale with the façade of the building. Sign length shall not exceed 60% of the width of the storefront length for any individual tenant. Height of letters shall be in scale with the sign band or area on the building elevation reserved for signage. In general, lettering will not exceed 18 inches in height, and in most cases, should be in the range of 8 to 12 inches. Individual graphic elements and logos may be 18 inches, subject to review on a case-by-case basis.

One building-mounted sign is allowed for the primary façade of each retail tenant. For tenants with two or more major exposures, such as at building ends facing two streets, one additional sign is permitted per façade. In addition, valence awning signs are permitted, one per establishment, with a maximum lettering height of 8 inches.

**Under Canopy and Projected or Hanging Signs.** Commercial buildings shall augment the building-mounted signage with pedestrian-oriented signage. Such signs are traditional shaped panes, typically mounted perpendicular to the building face and are of modest scale that can be read by a pedestrian within 40 feet of the sign. They may be suspended from arcade soffits or bracketed from the building face. They are generally two-faced sign panels with identical graphics on each face.

One sign per tenant or store is permitted. For large tenants with more than one entrance, one sign is permitted for each entrance. Each sign shall not exceed 4 square feet in size. A variety of materials are permissible, but the signs shall be essentially two-dimensional. Boxed or internally illuminated signs are not permitted. The signs may display the tenant name and logo and up to five other words, such as “Wine and Spirits” or “Clothing for The Nature Lover.”

The bottom of the sign shall be mounted a minimum of eight feet above the boardwalk. The sign shall not be mounted above the first floor, and must be below the building-mounted signage.

**Window Signs.** Window graphics such as name, hours of operation, and telephone numbers are permitted for storefronts corresponding to a single tenant. Permanent window graphics consisting primarily of the tenant name or services are in keeping with the traditional village vernacular, but shall be limited to a maximum of 5 percent of the total glass area of a storefront. Promotional graphics shall be tasteful and understated and may not substantially obscure the visibility through the window. In no case shall window graphics be located on the exterior surface of the glass. Lettering size shall be a maximum of 6 inches, in a traditional style. However, traditional stick-on plastic letters are permitted.

**Signs Not Permitted.** In addition to box or back lit signs, large or illuminated signs behind the glass that advertise on a permanent basis are not permitted. Applied window signs, such as cardboard panels, are not permitted. Temporary “Sale” signs applied to the exterior of windows are not permitted. No flashing or animated signs are permitted.

#### **4. Project Identification Signage - Monument Signs and Pole Signs**

The major project identification signage will be located at the entrances to the project at the intersection of FM 3005 and Grand Ave. This type of signage usually consists of a ground-mounted monument sign, typically a wall-like structure with applied graphics. The monuments cannot be located within the public right-of-way, or obstruct the required sight lines for motorists.

Site identification will be installed at the entrance from off-site. In order to provide for a pleasing and appropriate means of identification, monument rather than pylon signage should be located at the major entrances. Illumination would be achieved through external rather than internal sources.

#### **5. Vehicular Directional and Control Signage**

Effective traffic control signage is essential to ensure public safety, particularly in a community like Beachside Village, where the emphasis is on creating a quality pedestrian environment. These signs will regulate orderly vehicular circulation and include such items as speed limit signs, stop signs, and yield signs, as well as directional signage to major community amenities and parking areas.

Traffic control signage is typically located within the public right-of-way and is regulated by well-established engineering standards. The design of the sign panels is limited to widely familiar standard designs as approved by The City of Galveston. Posts should reflect the materials and details of other streetscape elements. For example, painted wood posts with decorative top caps or finials that might refer to fencing elements, are an option. Signage will address maximum allowable driving speeds, pedestrian rights of way, intersection controls, no parking areas for fire department etc. Signs will be of painted wood construction. Wood signs mounted on painted pressure treated 4x4's to be consistent with the overall site aesthetic. Vehicular control signage will be provided throughout the site as determined necessary to satisfy the city of Galveston requirements.

## 6. Pedestrian Wayfinding and Information Signage

This type of signage is located throughout the community and is designed to help the pedestrian find amenities and facilities such as civic buildings, public restrooms, vending areas, etc. In commercial areas, directory signs should show the location of particular tenants and shops.

Wayfinding signs are an important pedestrian amenity, but if overdone, can create a cluttered appearance. The integration of these signs with other elements of the streetscape is encouraged, for example, on lampposts or on building faces. Wayfinding signs are generally pole or pylon type; however a limited number may be placed on building façades as wall signs, or contained on kiosks and banner poles.

Wayfinding signage should be straightforward but attractively designed for easy recognition, with succinct messages, but may contain a range of design options, colors, and materials. This type of sign system is frequently used to reinforce a design theme, and may incorporate a logo or distinctive color scheme.

**General Information Signage.** Signage to provide general information to visitors will be provided throughout the site. Wherever possible, this signage will be located on brackets mounted to decorative light posts or on building elevations to minimize a cluttered appearance. Individual signs, not to exceed 1.5 square feet, may be located on poles or building corners.

### Introduction

The following design review procedure is a copy of a document that is provided separately to all lot buyers in Beachside Village, and is reproduced here for informational purposes. It describes the sequence required to obtain design approval for any proposed construction in Beachside Village. The Forms referred in the text may be found attached to the original document. Additional copies may be obtained from the Association or The Town Architect.

### DESIGN REVIEW PROCEDURE

**STEP 1. Documents.** In order to proceed, you should have reviewed the following documents:

- a. The Beachside Village Pattern Book.
- b. The Declaration of Covenants, Conditions and Restrictions for Beachside Village, along with the exhibits to those documents (hereinafter referred to as the “Governing Documents”)
- c. The Design Review Procedure (this document).
- d. The list of recommended architects, designers, landscape architects, and approved builders.

Collectively, the above list of documents shall be referred to herein as “The Code.” The documents above can be found in pdf format at [beachsidevillagehoa.com](http://beachsidevillagehoa.com) under the Governing Documents section of the website.

**All review submittals and correspondence shall be done electronically.** PDF files of the required submittal drawings, (1 set) and forms shall be submitted by e-mail to:

[alice@alice-earthman.com](mailto:alice@alice-earthman.com) and  
[reinhart.debbie@gmail.com](mailto:reinhart.debbie@gmail.com)

Copying both parties on the e-mail will help ensure receipt and timely review of documents. The Town Architect will distribute the appropriate number of copies once a review is complete.

At the same time that the submittal is sent to the Town Architect, a copy of the appropriate review application form, accompanied by the appropriate fee, shall be sent to the Beachside Village Homeowners Association at the following address:

**Beachside Village HOA**  
P.O. Box 3809  
Galveston, Texas 77552

**Checks should be made payable and sent to the Beachside Village Homeowners Association.**

Upon completion of the review, one copy of the submittals will be returned to the applicant, one copy will be forwarded to the Association, and one copy will be retained by the Town Architect.

After final approval for construction, one electronic set of the final plans shall be delivered to the HOA.

**STEP 2. Sketch Review.** This review is intended to establish whether the plans reflect a correct interpretation of the design intent. The Town Architect, will stamp the drawings upon approval. The following are required submittals:

- a. Form A: Sketch Review Application
- b. Schematic Design Drawings as follows:
  - (1.) Site Plan at a scale of 1/16"=1' (or larger), showing the following:
    - North arrow,
    - Property lines and setbacks with dimensions,
    - Building footprints with entries, porches and balconies delineated and overhangs shown as dashed lines,
    - Location of parking on site,
    - Drives and walks, with dimensions of each, and
    - Existing trees with trunk diameter and canopy dimensions
  - (2.) Elevations at a scale of 1/8"=1' or 1/4" = 1', showing the following:
    - Porches, balconies, doors, windows and exterior stairs,
    - Principal materials rendered and specified,
    - Height of each floor, eave and maximum height in relation to ground level, and roof pitch.
  - (3.) Floor Plans at a scale of 1/8"=1' or larger, showing the following:
    - Rooms, porches, decks, stairs, etc., with names
    - Windows and doors,
    - Overall Dimensions

- Location of exterior A/C units

- c. Variances: If there are any variances to the Code, submit a description of them, along with the proposed justification, for the same based on merit or hardship.

- d. Fee: \$500.00

Half-size drawings on 11x17 sheets are acceptable, provided that the required information is legible and to scale.

PDF files on electronic submissions should be set up to print on 11x17 sheets.

**Resubmittal.** Any Sketch Review application that is rejected must be re-submitted after appropriate corrections are made. Resubmittal requirements are:

- a. Original Form A.
- b. Revised Drawings, same list as required for Sketch Review.
- c. Resubmittal fee: \$100.00.

**STEP 3. Construction Documents Review.** This review checks the construction documents for compliance with the Code and verifies that recommendations made at the sketch review have been incorporated. Conformity to applicable local regulations and building codes is your responsibility, along with that of your architect or builder. The following submittals are required:

- a. Sketch Review Application (Form A) bearing The Town Architect's stamp of approval,
- b. Copies of all necessary governmental approvals,
- c. Construction Document Review Application, (Form B)
- d. Materials and Finishes List, (Form C)
- e. Review fee: \$500.00, and
- f. Construction Documents, as outlined below:
  1. Site Plan at a scale of  $1/16''=1'$  (or larger), showing the following:
    - North arrow,
    - Property lines and setbacks with dimensions,
    - Building footprints with entries, porches and balconies delineated and overhangs shown as dashed lines,
    - Location of parking on site,
    - Drives and walks, with dimensions of each, and
    - Existing trees with trunk diameter and canopy dimensions.
  2. Floor Plans at a scale of  $1/4''=1'$ , showing the following:
    - Rooms dimensioned and uses labeled,
    - All windows and doors with swings shown,
    - All overhangs of floors and roofs as dashed lines,
    - Overall dimensions, and
    - Total square footage (enclosed and porches shown separately).
  3. Elevations at a scale of  $1/4''=1'$ , showing the following:
    - Porches, balconies, doors, windows and exterior stairs,
    - Principal materials rendered and specified,
    - Height of each floor, eave and maximum height in relation to ground level, and roof pitch.
  4. Details at a scale of  $3/4''=1'$  or  $1-1/2''=1'$ , showing the following:
    - Water table (if any),
    - Eaves,
    - Door and window surrounds,
    - Porches, and
    - Others as required in the Association Sketch Review Approval or any governmental approvals.
  5. Landscape Plan: A sketch plan is required for approval within 90 days of the Construction Documents Review or sixty days prior to occupancy.

- f. Variances: If there are any variances that have been granted from the Code, submit a description of them.

The owner may be asked by the Town Architect to stake out the building, garden walls and fences. The Town Architect will approve, approve with stipulations, or reject the submittal.

If you have not selected a builder by this time, you should do so now. The Association and the Town Architect maintain a list of approved builders. Note that it is mandatory that a builder be approved to build in Beachside Village.

**Resubmittal.** Any Construction Documents Review application that is rejected must be re-submitted after appropriate corrections are made. Resubmittal requirements are:

- a. Original Form A
- b. Revised Drawings, same list as required for Construction Documents Review.
- c. Resubmittal fee: \$100.00

**STEP 4. Construction Commencement.** Before construction may begin, the following submittals are required:

- a. Form D: Construction Commencement Application.
- b. Statement of Intent to Comply with the Design Standards and the Statement of Understanding signed by the builder and owner.
- c. Logistics Plan. An annotated site plan indicating the proposed placement of dumpster, portable toilet, materials lay down area, delivery zone, and construction fencing. Note that deliveries must occur from the street side and that no activity or encroachment into the Greenways is permitted.
- d. Construction Observation Fee: \$1000.00
- e. Builder Project Fee: \$500
- f. Construction Deposit: \$2.00 per square foot of conditioned space. This deposit will be applied to each house individually; there will no longer be a maximum for any builder who is building multiple homes at any one time.

Construction may begin when all pre-construction items have been completed and verified by Property Manager, per the Beachside Village Builder Regulations.

The Association reserves the right to inspect properties in the field for compliance to the approved documents during any stage of construction. These inspections may be conducted by the TA, the Property Manager or their designer.

As a result of these inspections, the Association may stop construction. Typical field inspections include:

- a. At string stake out of buildings, garden walls, fences and trees to be removed,
- b. When pilings or formwork for footings are in place,
- c. At the commencement of wall cladding or finish, and
- d. During construction with respect to eaves, fences, columns and banisters.
- e. Although not required at the time of construction commencement, please be aware that the exterior color scheme and the landscaping plan must be submitted for approval prior to execution. Color samples may be applied in place and, upon notification, will be reviewed by the Town Architect during one of the periodic construction inspections.

### **Construction Procedures.**

Now that Beachside Village is well established and a substantial number of lots have been completed, construction must minimize any disruption to adjacent lots and to the community in general. All construction activity shall be in accordance with the Beachside Village Builder Regulations. of this section. Note that this document must be signed by Builder and Owner prior to construction commencement.

**STEP 5. Minor Change.** It is anticipated that owners may wish to make improvements or modifications to approved plans during construction. To do so, submit the following:

- a. Form E: Minor Change Application,
- b. Applicable drawings as necessary to describe the modifications, and
- c. Minor change fee: \$100.00

A minor change may be executed upon receipt of approval from all necessary governmental agencies and approval of the Minor Change Application by the Town Architect.

**STEP 6. Final Inspection.** Upon completion of construction submit the following:

- a. Form F: Final Inspection Application

**Future Modifications.** Any additions, alterations, or modifications made after Final Inspection that alter the exterior appearance shall be submitted for review and approval. This includes any structural modifications, re-painting of the exterior, re-roofing, or substantial changes to the landscaping.

The following shall be submitted:

- a. Form G: Exterior Change Application,
- b. Applicable drawings as necessary to describe the modifications, including color or finish samples, as applicable, and
- c. Exterior Change Fee: \$100.00

In cases of substantial remodeling, the Town Architect may, upon review of the application, determine that a full construction review (requiring Steps 3 through 6) is warranted. In such cases, the Town Architect will respond accordingly to the exterior change application, which will continue the Sketch Review (Step 2) of the review process.

### DESIGN REVIEW POLICIES

**Function of The Association.** To encourage the architectural harmony of Beachside Village, the developer and all property owners are bound by the provisions of the governing documents. To that end, no structure or improvement shall be erected or altered until the approvals described in this document have been obtained.

**Scope of Responsibility.** The Association has the right to exercise certain controls over all construction in Beachside Village, along with the appropriate governmental entities. The Association will also review all alterations and modifications to structures and improvements (even after initial construction is complete), including, but not limited to painting, renovations, and landscaping.

**Enforcing Powers.** Should a violation occur, the Association has the right to injunctive relief, which requires the owner to stop, remove, and/or alter any improvements determined to be in violation of the Code. Approval by the Association does not relieve an owner of his/her/their obligation to obtain any required governmental approvals. If such approvals are required and are not obtained by the owner, the Association and/or the applicable government agency may take whatever actions are necessary as a result.

The Association may, at its discretion, designate a Town Architect in order to ensure compliance with the intent of the Code.

**Limitations of Responsibilities.** The primary goal of the Town Architect is to review the submitted applications in order to determine if the proposed construction conforms to the Code. The Town Architect does not assume responsibility for the following:

1. The structural adequacy, capacity, or safety features of the structure and/or improvement,
2. Non-compatible or unstable soil conditions, soil erosion, etc.,
3. Compliance with any or all building codes, safety requirements, and governmental laws, regulations or ordinances, and
4. The performance or quality of work of any contractor.

**Design Review by the Association:** The role of the design review during the initial build-out of Beachside Village is assigned to the Town Architect, working on the Association's behalf.

**Review Fees.** Review fees may be required by the Association, depending on the nature of the application.

**Review Policy.** The Town Architect reviews the submission and either grants approval, approval with conditions, or denies approval. The owner is notified of the decision in writing and/or drawings within thirty days from the date of receipt. The Town Architect, may at his discretion, extend the review period for an additional 30 days and will notify the owner within the first 30 days of his intent to do so. In any case, the owner will receive a response within the specified time. One set of plans will be returned with comments. The Town Architect may deny approval because the application is incomplete or inadequate. If approval is not granted, a revised application addressing the deficiencies needs to be submitted. If the application is denied approval, a formal appeal may be made in writing to the Town Architect.

**Application Withdrawal.** The withdrawal of an application may be made without prejudice.

**Variances.** All variance requests pertaining to the Code must be made in writing. Any variance granted shall be considered unique and will not set precedence for future decisions.

**Approval of Builders.** All builders must be approved by the Association to build in Beachside Village. A list of pre-approved builders who understand the high quality of construction expected in Beachside Village is available from the Association. A builder not on the list must receive approval from The Association and no builder shall be entitled to build in Beachside Village until he/she/it is placed upon the approved Builder List.

All builders on the approved list work in Beachside Village at the sole benefit of the property owners and non-compliance with the regulations may cause the HOA to remove a builder from the approved list. A builder may be removed by the Board of the Directors, HOA, the Town Architect, or the Developer.

**Construction Deposit.** A construction deposit for each house is required. The amount of the deposit is set at \$2.00 per square foot of air conditioned space. The Association will hold the deposit until the Town Architect has made a final field inspection and accepted the project as complete. Full compliance with the intent of the Code will result in the return of the construction deposit. If the deposit is required to repair, replace, or clean up common areas that are damaged due to construction activities, the builder will be notified of the deficiency. The builder will be allowed to rectify the problem before the deposit is expended.

**Construction Inspection.** Periodic inspections may be made by the Town Architect while construction is in progress to determine compliance with the approved plans and specifications. The Association is empowered to enforce its policies as set forth in the Governing Documents by any action, including an action in a court of law, to ensure its compliance.

**Waiver and Additional Requirements.** The Code has been adopted to assist the owners in connection with the design review procedure. However, the Town Architect has the right to waive certain submission or Code requirements, for various reasons, including architectural merit or demonstrated hardship.

**Ongoing Maintenance.** Homeowners are required to maintain their homes after construction to protect their investment as well as the overall value of the community. Roofs in particular are very visible and any deterioration can be prominent and unsightly. This is done for the benefit of the neighborhood. Visible deterioration such as rotting wood, rusting fasteners, peeling paint, etc., shall be attended to promptly. More serious damage resulting from storms, fires, or other such events shall be cleaned up and repaired as soon as possible.

The Homeowners Association conducts audits of all homes in Beachside Village from time to time to assess the exterior conditions and note any deficiencies or needed maintenance items. A report of any required or recommended action is sent to each homeowner. Homeowners are advised that these audit reports are considered as official notice of any required maintenance items, and that the HOA may take other follow up action as necessary to enforce the design standards as outlined in the HOA documents.

**A. Review Forms**

**B. Builder & Owner Statements**

**C. Beachside Village Builder Regulations**

**D. Builder Sign Specifications**

**E. Map of Benchmarks**

**FORM A: SKETCH REVIEW APPLICATION**

Lot: \_\_\_\_\_

**Owner:** \_\_\_\_\_

Address: \_\_\_\_\_

\_\_\_\_\_

Telephone: \_\_\_\_\_ E-mail: \_\_\_\_\_

**Architect/Designer:** \_\_\_\_\_

Address: \_\_\_\_\_

\_\_\_\_\_

Telephone: \_\_\_\_\_ E-mail: \_\_\_\_\_

**Landscape Architect (if selected):** \_\_\_\_\_

Address: \_\_\_\_\_

\_\_\_\_\_

Telephone: \_\_\_\_\_ E-mail: \_\_\_\_\_

**Builder (if selected):** \_\_\_\_\_

Address: \_\_\_\_\_

\_\_\_\_\_

Telephone: \_\_\_\_\_ E-mail: \_\_\_\_\_

1. The following drawings are to be submitted:
- Site Plan
  - Elevations
  - Floor Plans

2. Application Fee: \$500.00 check made out to the Beachside Village Homeowners Association.

Date Submitted: \_\_\_\_\_ Signature: \_\_\_\_\_

**FORM B: CONSTRUCTION DOCUMENT REVIEW APPLICATION**

Lot: \_\_\_\_\_

**Owner:** \_\_\_\_\_

Address: \_\_\_\_\_

\_\_\_\_\_

Telephone: \_\_\_\_\_ E-mail: \_\_\_\_\_

**Architect/Designer:** \_\_\_\_\_

Address: \_\_\_\_\_

\_\_\_\_\_

Telephone: \_\_\_\_\_ E-mail: \_\_\_\_\_

**Landscape Architect (if selected):** \_\_\_\_\_

Address: \_\_\_\_\_

\_\_\_\_\_

Telephone: \_\_\_\_\_ E-mail: \_\_\_\_\_

**Builder (if selected):** \_\_\_\_\_

Address: \_\_\_\_\_

\_\_\_\_\_

Telephone: \_\_\_\_\_ E-mail: \_\_\_\_\_

1. The following documents are to be submitted:  Form A (stamped)  
 Form C

2. The following drawings are to be submitted:  Site Plan  
 Floor Plans  
 Elevations  
 Details

3. Application Fee: \$500.00 check made out to the Beachside Village Homeowners Association.

Date Submitted: \_\_\_\_\_ Signature: \_\_\_\_\_

**FORM C: MATERIALS AND FINISHES LIST**

Lot: \_\_\_\_\_

Identify the proposed materials and colors as noted below. Include pertinent information or samples, such as photographs or cut sheets. Include color samples for all painted, stained, or factory-colored materials.

Elements:	Description (include manufacturer and product # where appropriate):
Railings	_____
Chimney	_____
Door:	
Main Entrance	_____
Other	_____
Windows	_____
Driveway	_____
Walks	_____
Garage Door	_____
Fence Gates	_____
Gutter	_____
Lighting	_____
Deck	_____
Roofing	_____
Shutters	_____
Soffit	_____
Walls	_____
	_____
	_____
	_____
	_____
	_____

This completed form is to be submitted as part of the Construction Document Review Application.

Date Submitted: \_\_\_\_\_ Signature: \_\_\_\_\_

**FORM D: CONSTRUCTION COMMENCEMENT APPLICATION**

Lot: \_\_\_\_\_

**Owner:** \_\_\_\_\_

Address: \_\_\_\_\_

\_\_\_\_\_

Telephone: \_\_\_\_\_ E-mail: \_\_\_\_\_

**Builder:** \_\_\_\_\_

Address: \_\_\_\_\_

\_\_\_\_\_

Telephone: \_\_\_\_\_ E-mail: \_\_\_\_\_

1. The following documents are to be submitted:  Form B (stamped)  
 Form C (stamped)
2. Construction Observation Fee: \$1,000.00, check made out to Beachside Village Homeowners Association.
3. Builder Project Fee: \$500.00, check made out to Beachside Village Homeowners Association.
4. Construction Deposit of \$2.00 per square foot of air conditioned space, check made out to Beachside Village Homeowners Association.
5. Fully executed copies of the Statement of Understanding and the Statement of Intent to Comply with Design Standards.

**The following are required during construction:**

**Required Stringer Elevation:**

The undersigned Builder understands and agrees to employ the services of a licensed surveyor to establish the required bottom of stringer elevation for the house. After pilings are set, the Builder shall notify the HOA and the surveyor, who will mark a control line on one of the piles at an elevation of 10'-0" AMSL as well as note the required offset from that control line.

The Builder shall submit the following items for approval to the HOA and Town Architect prior to commencing those phases of work. Allow 2 weeks for approval.

- 1. Exterior paint color selections
- 2. Landscape plan

Date Submitted: \_\_\_\_\_ Signature: \_\_\_\_\_

**FORM E: MINOR CHANGE APPLICATION**

Lot: \_\_\_\_\_

**Owner:** \_\_\_\_\_

Address: \_\_\_\_\_

\_\_\_\_\_

Telephone: \_\_\_\_\_ E-mail: \_\_\_\_\_

**Architect/Designer:** \_\_\_\_\_

Address: \_\_\_\_\_

\_\_\_\_\_

Telephone: \_\_\_\_\_ E-mail: \_\_\_\_\_

**Landscape Architect (if selected):** \_\_\_\_\_

Address: \_\_\_\_\_

\_\_\_\_\_

Telephone: \_\_\_\_\_ E-mail: \_\_\_\_\_

**Builder** \_\_\_\_\_

Address: \_\_\_\_\_

\_\_\_\_\_

Telephone: \_\_\_\_\_ E-mail: \_\_\_\_\_

- 1. The following documents are to be submitted:
  - Form B (stamped)
  - Form C (stamped)

- 2. The following drawings are to be submitted:
  - As required to clearly and completely describe the proposed change.

- 3. Application Fee: \$100.00 check made out to the Beachside Village Homeowners Association.

Date Submitted: \_\_\_\_\_ Signature: \_\_\_\_\_

**FORM F: FINAL INSPECTION APPLICATION**

Lot: \_\_\_\_\_

**Owner:** \_\_\_\_\_

Address: \_\_\_\_\_

\_\_\_\_\_

Telephone: \_\_\_\_\_ E-mail: \_\_\_\_\_

**Architect/Designer:** \_\_\_\_\_

Address: \_\_\_\_\_

\_\_\_\_\_

Telephone: \_\_\_\_\_ E-mail: \_\_\_\_\_

**Landscape Architect (if selected):** \_\_\_\_\_

Address: \_\_\_\_\_

\_\_\_\_\_

Telephone: \_\_\_\_\_ E-mail: \_\_\_\_\_

**Builder:** \_\_\_\_\_

Address: \_\_\_\_\_

\_\_\_\_\_

Telephone: \_\_\_\_\_ E-mail: \_\_\_\_\_

I, the Builder, do certify in good faith that the contracted structure on said lot conforms to the Beachside Village Code and the Construction Documents as approved by the Town Architect and the City of Galveston. All site work, landscaping, cleaning, removal of temporary utilities, and repair of damage to rights-of-way and common areas has been completed.

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

**FORM G: EXTERIOR CHANGE APPLICATION**

Lot: \_\_\_\_\_

**Owner:** \_\_\_\_\_

Address: \_\_\_\_\_

\_\_\_\_\_

Telephone: \_\_\_\_\_ E-mail: \_\_\_\_\_

**Architect/Designer: (if applicable)** \_\_\_\_\_

Address: \_\_\_\_\_

\_\_\_\_\_

Telephone: \_\_\_\_\_ E-mail: \_\_\_\_\_

**Landscape Architect (if applicable):** \_\_\_\_\_

Address: \_\_\_\_\_

\_\_\_\_\_

Telephone: \_\_\_\_\_ E-mail: \_\_\_\_\_

**Builder/Contractor (if selected)** \_\_\_\_\_

Address: \_\_\_\_\_

\_\_\_\_\_

Telephone: \_\_\_\_\_ E-mail: \_\_\_\_\_

**Briefly describe the proposed change:** \_\_\_\_\_

\_\_\_\_\_

- 1. The following drawings are to be submitted:  
As required to clearly and completely describe the proposed change.
- 2. Application Fee: \$100.00 check made out to the Beachside Village Homeowners Association.

Date Submitted: \_\_\_\_\_ Signature: \_\_\_\_\_

**Statement of Understanding  
Beachside Village Planned Community**

The undersigned party, acting as a (circle one) Designer General Contractor approved to conduct work in Beachside Village hereby states that:

1. I have read the Pattern Book and the Declaration of Conditions, Covenants, and Restrictions for Beachside Village.
2. I understand that the intent of the Beachside Village development is the creation of a superior community with all homes constructed to a high standard of design quality and workmanship.
3. My work for this project shall reflect the highest professional standards.
4. All materials, finishes, and workmanship used on this project shall be of the highest quality generally available.
5. All drawings and specifications used for this project shall be complete, clear, and contain sufficient detail to accurately convey and execute the work in the desired manner.
6. All construction shall conform to the Drawings submitted to and approved by the Town Architect.
7. Any and all changes made to the approved construction plans or on site during construction must be sent to the Town Architect for approval before the change is made on site. Form G shall be used to communicate any requests for such a change. Any change made without prior Town Architect approval is subject to denial.
8. The design criteria and construction regulations that have been developed for Beachside Village have been created for the benefit of the property owners. Architects, Designers, and General Contractors work in Beachside Village for the sole benefit of those property owners.
9. Acknowledgement of applicable fines for violation of all applicable rules for conducting construction and removal from the List of Approved Builders/General Contractors for chronic or multiple violations.

Builder Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Owner Signature: \_\_\_\_\_ Date: \_\_\_\_\_

**Statement of Intent to Comply with Design Standards  
Beachside Village Planned Community**

**General Contractor, Architect and/or Designer agree that:**

1. Stainless steel fasteners will be used on all exterior applications, including siding, decking, ground level screening and fences.
2. The lowest horizontal members for beach front lots shall be set at 19.5' AMSL and for non-beach front lots shall be set at 18.5' AMSL. The Builder shall employ the services of a licensed surveyor to set an elevation reference mark once pilings are driven.
3. The top of all slabs will be set at 1' above the highest point of the adjacent street.
4. Construction debris and trash must be managed as close to the construction site as is possible. A tight perimeter to the site must be maintained. Dumpsters must be removed when the debris approaches the top of the dumpster.
5. General Contractors and Subcontractors must park on the streets – no parking is allowed on vacant lots or greenbelts. Vacant lots and greenbelt areas may be used, very briefly, for delivery purposes.
6. Fence design must be submitted to the Town Architect for approval prior to the construction of the fence. If the fence design is not pre-approved, the Town Architect may require the fence to be removed or re-designed.
7. Exterior paint colors must be submitted to the Town Architect for approval prior to painting. If the colors are not pre-approved, the Town Architect may require the house to be re-painted.

The Refundable Construction Deposit, required of all construction projects in Beachside Village, must be delivered to the Beachside Village Homeowners Association (the HOA) prior to beginning construction. The deposit is placed with the HOA to ensure the General Contractor's satisfactory compliance with the approved construction plans and neighborhood regulations. In the event a construction project is not built per the approved plans and/or neighborhood regulation, the construction deposit may be withheld by the HOA at the discretion of the HOA Board of Directors.

When the builder is given a Notice of Non-Compliance by the Town Architect, the builder will be given an opportunity to correct the defect. If the defect is not correctable, or if the builder chooses not to make the correction, the builder will forfeit the construction deposit. If the Town Architect sends a builder a Notice of Non-Compliance, for any reason, the builder will be charged \$100 against your Refundable Construction Deposit per Notice of Non-Compliance sent.

Any builder's 'Approved Builder' status is contingent upon the builders' compliance with the Beachside Village architectural and construction regulations. If an approved builder is not able to, or chooses not to follow the guidelines for construction or is not able to or chooses not to correct a defect explained in a Notice of Non-Compliance, the builder may, at the sole discretion of the Board of Directors, forfeit the 'Approved Builder' status which would prevent the builder from being allowed to build in Beachside Village in the future.

Lastly, if a builder fails to reasonably perform his or her duties to their homeowners, either during construction or post-construction, i.e. to provide professional work at all times, provide a professional work environment, perform warranty work, etc., a builder's 'Approved Builder' status may be revoked at the sole discretion of the Board of Directors. The Beachside Village HOA Board of Directors take letters from homeowners very seriously when they contain negative comments about their construction experiences and the Board may remove a builder from the 'Approved Builder' list for this reason.

Builder Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Owner Signature: \_\_\_\_\_ Date: \_\_\_\_\_

# BEACHSIDE VILLAGE BUILDER REGULATIONS

Effective January 1, 2023

## Addendum to the Beachside Village Pattern Book

As Beachside Village has grown into a more dense, mature neighborhood, it is important for builders to be mindful and respectful of homeowners in the vicinity of construction sites. Builders, and where appropriate subcontractors, will be required to conform to the following regulations. Any questions about the following information should be addressed to the property manager, the Town Architect, the Board of Directors or its designee. Misunderstanding of the following is not an excuse for non-compliance. The rules for builders prior to construction commencement will apply to all new projects approved by the Town Architect after January 1, 2023. All other rules will be in effect for ALL projects as of January 1, 2023, regardless of when construction commenced.

### Prior to Construction Commencement:

Builders are required to follow the Town Architect two-step plan approval process found in the Beachside Village Pattern Book and as required by the Beachside Village Declaration of Covenants, Conditions and Restrictions. Prior to installing pilings, the builder must have completed the following:

- Builders must have received the Construction Review letter from the Town Architect stating that the construction plans are approved and the builder must email a complete set of the approved plans, electronically, to the property manager.
- All fees must be paid to the HOA. All fees and the construction deposit must be paid by the builder. The fees must be mailed to the Beachside Village HOA at the HOA mailing address. Checks may not be delivered or mailed to the Beachside Realty Company Sales Office. The following fees become effective January 1, 2023:

Form A	\$500
Form B/C	\$500
Form D	\$1000
Builder Project Fee	\$500
Construction Deposit	\$2/sf

- In accordance with the Beachside Village Pattern Book, the builder is required to submit a logistics plan - a site plan indicating the proposed placement of the dumpster, portable toilet, materials lay down area, delivery zone and construction fencing.
- A t-pole with a meter must be installed on the property to provide power to the project – generators are not allowed to be used during construction unless CenterPoint has not yet brought power to the property.
- A builder sign must be properly installed on the property. Builder sign information is available from the property manager and **all builder information** is required to be on the sign. Company logos are NOT allowed on the builder sign and flyer boxes are not allowed to be attached to the builder sign or to the project structure.

- A copy of the Statement of Understanding and the Statement of Intent to Comply with the Design Standards and a copy of this document must be signed by both the builder and property owner (if applicable) and provided to the property manager.

Once the above tasks have been completed, the builder shall provide documentation to the property manager who will check the documents and the site to verify compliance. At such time, the property manager will give the builder written clearance to begin construction. Any work begun by a builder prior to being given that written clearance will cause a STOP WORK ORDER to be issued by the property manager.

Prior to the above conditions, a builder may have pilings delivered to the project site. The pilings may not be installed until the above conditions are present at the site. If the pilings are delivered to the site early for storage purposes, the builder may not install the builder sign until construction is about to begin.

### **Construction Commencement:**

#### **Once the Pilings have been Installed:**

- Builder must install orange safety fencing on the rear and side property lines. All construction material and debris must remain inside of these temporary fence lines.
- Each construction project must have its own dumpster (or pre-approved trash receptacle) and port-a-can. The dumpster and port-a-can must fit within the property lines of the project. Each builder must manage the dumpster such that trash does not accumulate above the sides of the dumpster.

#### **Lowest Horizontal Member & Slab Height – Provide Elevation Certificate AFTER Installing Stringers, Prior to Installing Floor Joists**

In Beachside Village all builders are required to place the lowest horizontal member on each project at BFE plus 2.5'. This provides a +3-flood rating and keeps the elevations of the homes throughout the neighborhood as consistent as is practical. As required on Form D: Construction Commencement Application:

***The undersigned Builder understands and agrees to employ the services of a licensed surveyor to establish the required bottom of stringer elevation for the house. After pilings are set, the Builder shall notify the HOA and the surveyor, who will mark a control line on one of the piles at an elevation of 10'-0" AMSL as well as note the required offset from that control line.***

Each builder is required to provide an elevation certificate stating the elevation of the lowest horizontal member (typically stringer height) once the stringers have been installed and prior to installing the floor joists. This elevation certificate must be provided to the property manager within 2 weeks of the stringers being set. At the same time the surveyor is on site to mark a piling at 10' AMSL, a piling in the row closest to the adjacent street shall be marked by the surveyor at the point 1 ft above the highest point of the that street to establish the height of the slab.

## Construction Site Management During Construction:

The following regulations apply to all construction and renovation projects even if they were begun prior to January 1, 2023. Builders, and where appropriate subcontractors, will be required to conform to the following:

- 1) Construction hours shall be as follows:
  - (a) Monday-Thursday: 7am – 6pm
  - (b) Friday: 7am – 5pm
  - (c) Saturday, Sunday, national holidays – **no construction is allowed (neither interior or exterior)** – New Year’s Day, Martin Luther King Day, President’s Day, Good Friday, Memorial Day, Independence Day, Labor Day, Indigenous People’s Day, Thanksgiving (Thursday and Friday), Christmas Eve and Christmas Day

This shall also apply to infrastructure work on any newly acquired Sections of Beachside Village.
- 2) At no time shall a builder allow any of his/her subcontractors or crews to arrive earlier or remain past these construction hours. No crews are allowed to spend the night at a construction site.
- 3) As required by the Beachside Village Pattern Book and the Statement of Intent to Comply with Design Standards, the following external fasteners and building materials must be made of stainless-steel, regardless of whether or not the fasteners will be covered or painted: stringer bolts/washers/nuts, stringer nails, louver fasteners, exterior stairs and railing fasteners, deck railing fasteners, siding fasteners (even if blind nailed), window fasteners, siding/window/door flashing, roof flashing at siding, roof drip edge, roof deck fasteners that will be exposed under the eaves and all fence fasteners. Avoid different metals in contact with each other due to bi-metallic corrosion. **Violation of this regulation is considered a large-scale violation and a STOP WORK ORDER will be issued for non-compliance.**
- 4) The following fasteners can be galvanized or stainless steel: fasteners to install exterior plywood that will be covered with Tyvek (or equivalent), staples to install Tyvek (or equivalent), roof decking that will be covered by roof material except where the fasteners may be exposed under the eaves.
- 5) All roofs for projects approved by the Town Architect after January 1, 2023 (new construction or renovation) must be aluminum and approved by the Town Architect.
- 6) All exterior electric or plumbing straps/clips/screws must be either stainless or plastic.
- 7) Builders must be mindful of the very narrow streets in Beachside Village and must make sure that the streets are passable by cars and emergency vehicles at all times. Subcontractors may not park on adjacent property or in greenbelts. Subcontractors may not park on neighboring driveways, may not block neighboring driveways, may not park on nearby parking pads or along red-striped portions of streets. Builders should inform crews that overflow parking is available for subcontractor vehicles along Sea Butterfly, Beachside Drive and Sea Urchin. Owners will be encouraged to contact the builder when streets become impassable. If the builder and/or his subcontractors don’t respond, owners will be encouraged to contact the City Marshall’s office and/or the Galveston Police Department to have the vehicles removed.
- 8) Limited construction staging may be allowed on adjacent property or greenbelts with the prior written permission of property owners or the HOA property management. Such written

permission must be provided to the property manager prior to a builder using adjacent property. Should any damage to the adjacent property, greenbelts or streets occur, the builder will repair the property immediately.

- 9) Music on construction sites during construction hours shall be kept to a low volume and only be played inside the home. If requested by property manager, its designee or by a neighbor to turn it off, builder/subcontractor will comply.
- 10) Subcontractors are to avoid crossing into any property near the construction site unless for safety reasons and may not use a neighbor's water, electricity, or trash cans/dumpsters for their own use.
- 11) Trailers are not to be stored overnight at the construction site, neighboring lots, or in green spaces. Trailers can be brought to the site for delivery purposes only. Similarly, trucks and cars cannot be left on site overnight.
- 12) Before the end of the day on Friday (5pm), the builder shall ensure that the work site is trash and debris free to maintain the attractiveness of the neighborhood. Staging of construction material around the job site is acceptable but construction debris and garbage must be placed in the dumpster or pre-approved trash receptacle every Friday afternoon. This will be monitored each Friday evening by a designee of the property manager.
- 13) No alcohol or illegal drugs are permitted on or consumed within any construction site by the Builder or subcontractors. Builders will abide by all federal, state and local laws.
- 14) It is the responsibility of the builder to inform all of his/her sub-contractors of these regulations and to require compliance of his/her sub-contractors. Violations of these regulations by subcontractors will be the responsibility of the builder and fines may be assessed.

### **Post Construction:**

At the end of the construction process, each builder must make sure his construction site is free of any construction debris and that any adjacent properties that may have been impacted during construction are returned to its pre-construction condition. At that time, the builder must remove the builder sign, t-pole, dumpster and port-a-can. Each builder is required to submit Form F (Final Inspection Request) to the Town Architect and the property manager for the Town Architects final evaluation of the project. When the Town Architect sends his/her Letter of Completion to the property manager, the project will be deemed "complete" and the construction deposit will be returned to the builder, less any fees or fines associated with the construction project.

### **Consequences of Non-Compliance:**

The property manager, the Town Architect or their designee are responsible for the compliance inspections and the enforcement of builder regulations and will report minor violations to the HOA Board of Directors at the quarterly Board Meetings. For large-scale violations, a STOP WORK ORDER will be issued to the builder and the property owner (where applicable) and a remediation plan will be developed by the Town Architect, the property manager, and the builder. Depending upon the extent of the large-scale violation, the builder may be allowed to resume work once the remediation plan has been agreed to by all parties – this will be at the discretion of the property manager, the Town Architect, the Board of Directors or it's designee. The Board of Directors will be notified at the

time the large-scale violation is detected and will be provided a copy of the remediation plan when it's developed. Any remediation (small or large scale) will be performed at the builder's sole expense. Periodic and thorough inspections will be performed on all construction projects with particular focus on, but not limited to, external fastener material, stringer height, and slab height. The Town Architect will make periodic inspections of the construction projects to determine compliance with approved construction plans.

**FINES:**

- A \$500 fine will be assessed and deducted from a construction deposit for the first STOP WORK ORDER issued to a builder. Subsequent STOP WORK ORDERS will be assessed at \$1000 each. After 5 (FIVE) STOP WORK ORDERS have been issued to any builder, that builder will be removed from the Beachside Village Approved Builder List. All STOP WORK ORDERS will be sent to the builder and to the owner, where applicable.
- A \$250 fine will be assessed and deducted from a construction deposit for the first minor violation of the Beachside Village Pattern Book, the Statement of Understanding and the Statement of Intent to Comply with Design Standards and these Builder Regulations, including the construction site management requirements listed above, except for Construction Site Management items #1 & #12 where the fines will be handled below. Subsequent minor violations will be assessed at \$500 each and after 10 (TEN) minor violations issued to any builder, that builder will be removed from the Beachside Village Approved Builder List.
- A \$250 fine will be assessed and deducted from a construction deposit for any sub-contractor found to be violating the stated construction hours - before/after hours, on the weekend or holidays listed above. Subsequent violations of the builder will be assessed \$500 per violation. After 10 (TEN) violations the builder will be removed from the Approved Builder List.
- A \$100 fine will be assessed and deducted from a construction deposit for each Friday that his/her project site is not cleared of trash and debris at the end of the work week. Subsequent reports of trash and debris not being cleared at end of business on Friday will result in a \$250 fine.

**Failure to follow the Beachside Village Declaration of Covenants, Conditions and Restrictions, the Beachside Village Pattern Book, these Builder Regulations, the Statement of Understanding or the Statement of Intent to Comply with Design Standards and/or an unwillingness to properly remediate construction violations will be grounds for removal from the Beachside Village Approved Builder List upon a recommendation of the property manager or the Town Architect and approved by the Board of Directors. In addition, excess violations outlined in the "Fines" section above will cause a builder to be removed from the Approved Builder List. The Board of Directors can include or exclude builders from the approved list upon recommendations of the property manager and the Town Architect or by their own doing.**

Builder signature: \_\_\_\_\_

Date: \_\_\_\_\_

Owner signature: \_\_\_\_\_

Date: \_\_\_\_\_



## **BEACHSIDE VILLAGE HOA – BIULDER SIGN REGULATIONS**

### **Addendum to the Beachside Village Pattern Book - January 2023**

Construction signs conveying certain information regarding a house under construction are required. They are required to conform to the standard design as depicted on the following pages.

Please note the following regarding these construction signs:

1. They shall adhere to the standards described on the following pages in terms of the construction and size of the frame and the layout of information on the signs. All sign information is required. Logos are not allowed on the signs and flyer boxes are not allowed to be attached to the sign or attached to the project structure.
2. The sign may not be displayed until construction actually begins, except it is permissible to display the sign when piles for the home are delivered to the site and construction is imminent.
3. If you are a repeat builder re-using the sign frame from a previous project, it should be repainted or touched up as necessary to appear as new.
4. A new sign panel with the correct information should be printed for each project.
5. If the home is a spec construction, the builder may use the term "Available" in the area designated for the Lot Owner's name. This must be the same font size as that designated for the Owner's name.
6. The sign should be placed near the property line along the street frontage of the lot. It must be readable from the street.
7. The sign must be removed prior to submitting Form F: Request for Final Inspection.
8. Signage that does not comply with the regulations listed above may be removed by the HOA without notice.
9. Other signs such as subcontractor signs are not allowed on the construction site and will be removed by the HOA without notice.

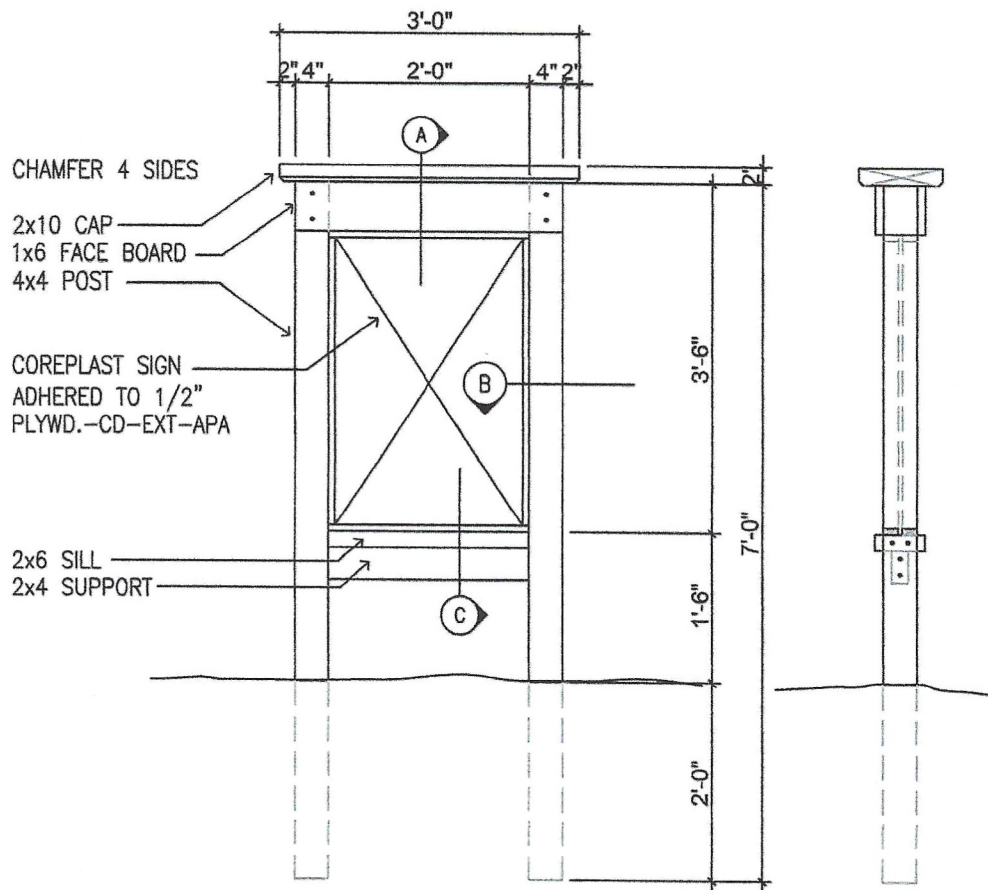
We sincerely appreciate your understanding and cooperation and thank you for your continued interest in Beachside Village. Our goal, quite simply, is to ensure that Beachside Village continues to be regarded as one of the premiere residential communities in Galveston.

For information about the sign blank artwork, please contact the HOA Property Manger

Please see the following Construction Sign for Beachside Village (2 pages)

Beachside Village Homeowners Association, Inc.  
Board of Directors

# CONSTRUCTION SIGN FOR BEACHSIDE VILLAGE

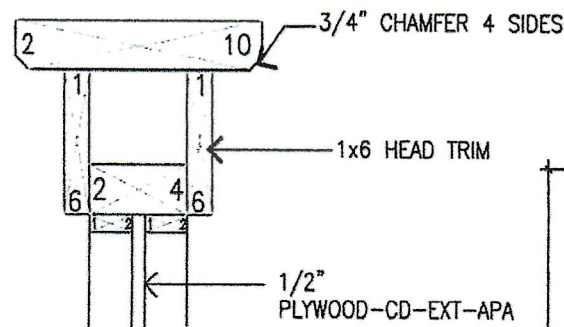


FRONT  
ELEVATION  
@1/2"=1'

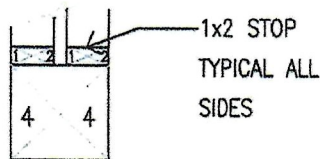
SIDE  
ELEVATION  
@1/2"=1'



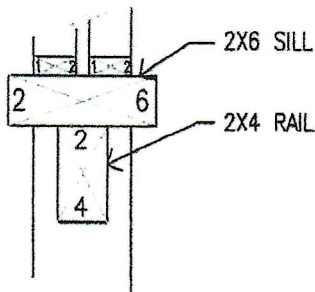
# CONSTRUCTION SIGN FOR BEACHSIDE VILLAGE



(A) HEAD

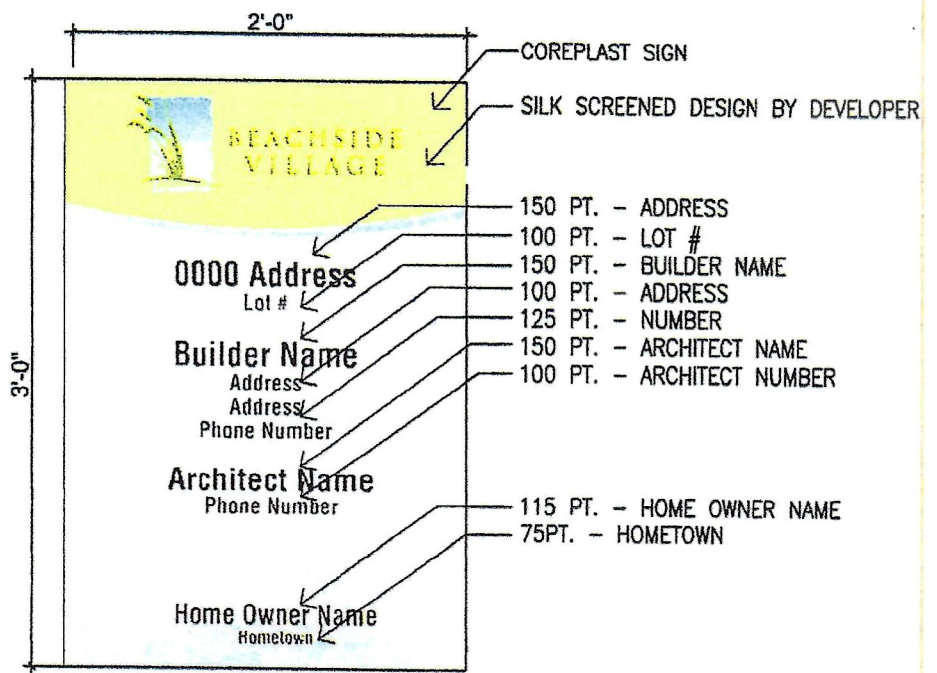


(B) JAMB



(C) SILL

**DETAILS  
@ 1 1/2" = 1'**



**COREPLAST PANEL @ 1"=1'**

**NOTES:**

1. ALL WOOD MEMBERS PAINTED WHITE.
2. COREPLAST SIGN ADHERED TO 1/2" PLYWD-CD-EXT-APA.
3. EXTERIOR BLACK VINYL LETTERING ADHERED TO COREPLAST SIGN IN SPECIFIED FORMAT.
4. ALL TYPE TO BE I.E.V.T.C.A BOLD CONDENSED CENTERED



