



THE BEACHSIDE VILLAGE PATTERN BOOK

Standards & Provisions for a Visually Cohesive Community

Revised Issue August 2019

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How to Use this Pattern Book

The Beachside Village Pattern Book will guide the developer of specific projects in the Beachside Village Planned Development in a manner consistent with the vision and goals established by the community developer and the City of Galveston.

This Pattern Book is organized according to three general topics. The first, described in Section II, summarizes the General Development Regulations applicable to the entire community. This section will guide the builder with a general overview of the intent of the Beachside Village Master Plan. This section describes the overall development plan and program, street types, lot development standards, and an overview of the architectural guidelines.

The second area of focus deals with the regulations specific to each building type, whether commercial or residential. These regulations are discussed in Section III and IV respectively, and will describe in detail the provisions that define the desired character for buildings in Beachside Village. These provisions include standards and guidelines for building placement and lot development, massing and composition, key elements and details, and materials and finishes.

The third area of focus deals with site elements, as discussed in Section V. Here will be found standards for those elements in Beachside Village that occur on the home sites within public view. These elements include landscaping, public area lighting, paving standards, signage, fencing, and screening of unsightly elements.

Section VI is supplemental information that describes the development review and approval process.

Language Conventions

The provisions of this Pattern Book shall be read as follows:

“shall” indicates a mandatory requirement.

“should” indicates a recommended provision. The incorporation of such provisions in the designs will be favorably considered in the review process.

“may” indicates an optional provision.



Design Intent

This pattern book is intended to foster a visually cohesive environment in Beachside Village. It is also intended to set minimum standards for the architectural design and the quality of materials and construction.

The regulations for massing, composition, and key elements are intended to demonstrate the general level of design quality sought in Beachside Village. These regulations are not intended to limit the possibilities for innovative design, but rather, to establish a basic language of expression. Variances to these regulations may be granted for architectural merit at the sole discretion of the reviewer, and will be addressed during the design review process. Designers are advised, however, to scrupulously observe these regulations to the best of their ability.

Owners and designers are further advised that these regulations have evolved over time. With the benefit of over a decade of construction in Beachside Village, certain provisions of the Pattern Book have been revised to enhance and encourage desirable outcomes and to prevent future occurrences of undesirable outcomes. Citing examples of existing undesirable results does not constitute a valid argument for future approval of similar features.



Introduction

Beachside Village is a unique community of homes situated on 61 acres of Gulf-front property on Galveston's west end. Modeled after a true traditional town environment, the community includes a neighborhood commercial center, a range of different lot types, and a variety of communal open spaces.

The layout of the streets and lots, as well as the design of the individual structures, is intended to reinforce a sense of community. Houses feature front porches and welcoming stairs that provide a human-scaled transition to the raised floor level. Many front on greenways or parks. The influence of the automobile is deemphasized by the use of narrow streets and many units feature parking access via a rear lane.

Of course, generous beachfront lots are provided. But there is also a range of smaller, interior lots that offer an affordable alternative while still providing many of the amenities of a coastal community. Many of these lots front on greenways that feature a view corridor to the Gulf, with a dune walkover providing convenient beach access at the end of every greenway.

The architecture of Beachside Village evokes a relaxed lifestyle that borrows many elements from traditional Texas communities. Generous porches and decks, pitched metal roofs, and wood siding in a festive range of colors lend an air of consistency and order to the community, while still affording wide latitude in individual expression.



Traditional Neighborhood Design. *Remember when towns were designed on a human scale... for the family? The town center was the focus and functioned as an outdoor room inviting all to become active participants in the community. This “new urbanism” is the inspiration of Beachside Village. With protection of the environment in mind, this design encourages the use of porches, pedestrian walkways and greenbelts linking parks, plazas and other recreational areas together with provisions for the use of bikes. Even small service and retail shops are close at hand and mixed in with homes to give the classic feeling of neighborhood.*

*Debbie and Bruce Reinhart
Developers of Beachside Village*

The neighborhood center will reinforce the architectural style, act as a focus for community life, and provide for many necessities of daily life.

A. The Regulating Plan

The Regulating Plan for Beachside Village allocates the proposed land uses and elements of the development program to specific locations on the overall site plan. The Regulating Plan is depicted here and on the following page at a larger scale. The various land use categories are color coded as shown on the legend.

The Regulating Plan establishes defined, discrete areas for commercial uses and several residential lot types. Although the different uses tend to be clustered together, the entire project is small enough that a person may readily walk or bicycle from one part of the community to the other, and the community as a whole reads as a well-integrated mix of types. Green space is distributed throughout so that it may serve as an amenity for the entire community.

Later sections of this Pattern Book define the detailed regulations for the commercial lots as well as the various types of residential lots.



The Regulating Plan defines four basic residential lot types:

- Cottage Lots; generally 40 feet wide by 105 feet deep. These are found at interior locations and are intended to provide a reasonably economical alternative for a beachfront community location.
- Village Lots; generally 45 to 60 feet wide by 110 feet deep.
- Manor Lots; generally 70 feet wide by 120 feet deep.

- Beachside Lots with Gulf of Mexico frontage; generally 70 - 90 feet wide by 200 feet deep, although more than half of the lot is a dune area preserve that cannot be built on.

These lot types are color coded on the Regulating Plan. Each lot type has varying requirements for setbacks and buildable area, as defined in this Pattern Book.

All residential lots are coded for single-family detached structures.



The Beachside Village Regulating Plan.

B. Development Program

The development program includes the following allocation of uses:

Commercial Lots:	7.8 acres
Cottage Lots:	121 lots
Village Lots:	38 lots
Manor Lots:	19 lots
Beachside Lots:	32 lots
Total Residential:	210 lots

The site contains 71.79 gross acres of area, of which 8.77 acres are dedicated to parks and wetland reserves and 5.9 acres to greenways.

The overall gross density is about 3.15 units per acre, while the net density (after subtracting the area of the parks and greenways) is about 3.98 units per acre.



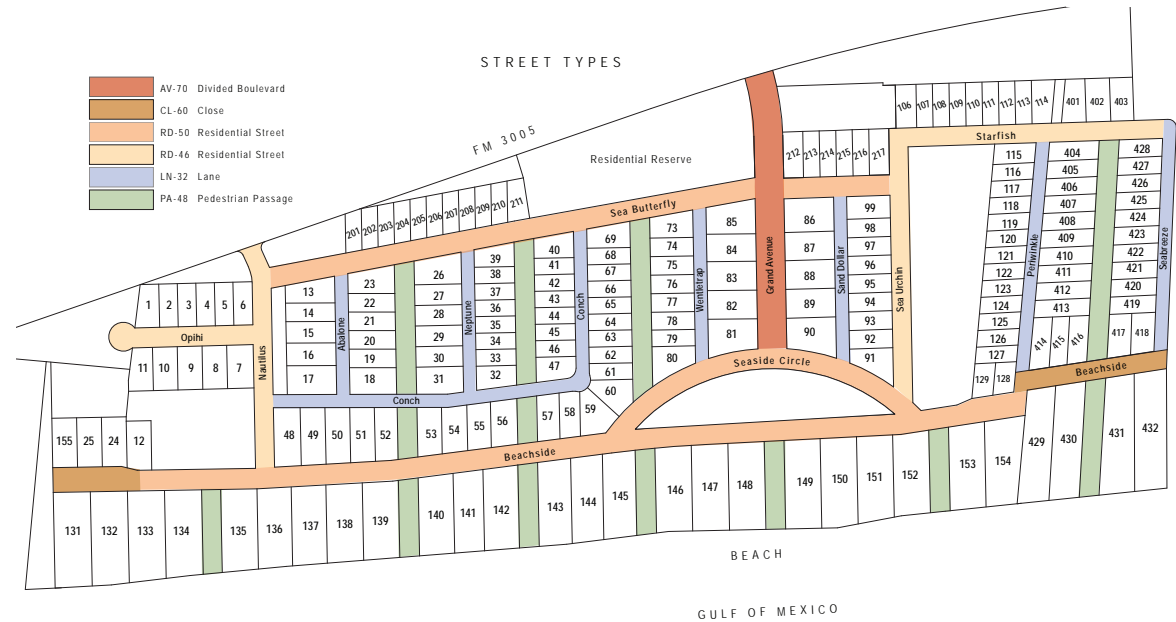
A view down one of the pedestrian passages, showing the Gulf of Mexico in the distance.

C. Street Types

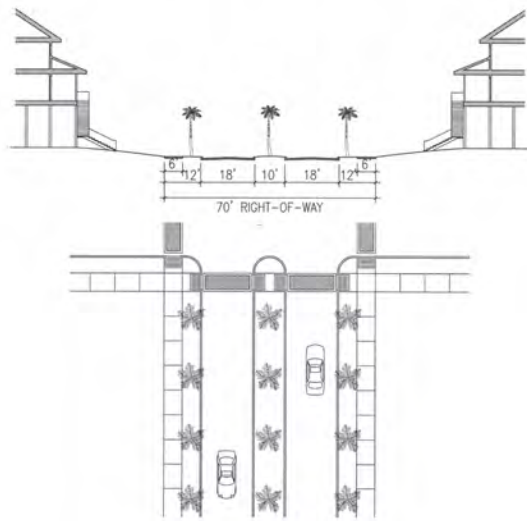
The land plan for Beachside Village provides for a hierarchy of streets designed to fill a variety of functions and to create a human scaled, pedestrian friendly environment. The street types are indicated on the plan, and their primary characteristics are indicated on the accompanying drawings.

The plan is based on a series of distinct street types matched to the functions of the buildings fronting the streets. Commercial streets, for example, have defined on-street parking zones intended to augment on-site parking with convenient parking near the building frontage to promote pedestrian activity and to help buffer the pedestrian from the effects of moving traffic. Residential streets are less formal, with narrower pavement widths. All streets in the development are designed as low-volume and low speed streets.

The street types in Beachside Village are based on the types permitted under the Traditional Neighborhood Design option of the City of Galveston Zoning Ordinance. The street types used here are defined on the following pages.

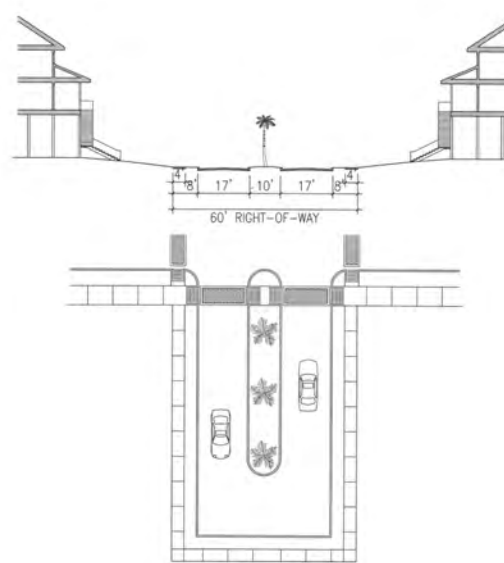


Street types. The numbers refer to the right-of-way widths.



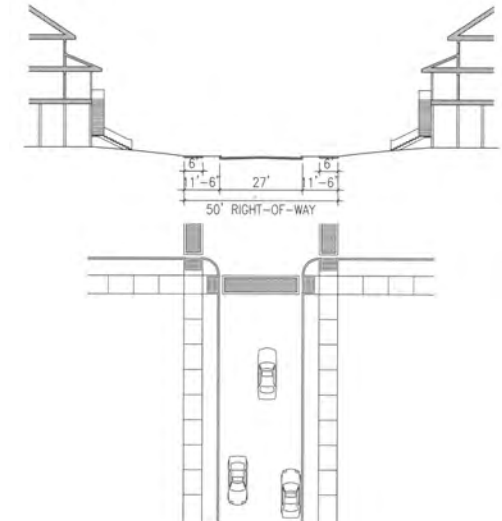
AV-70 Divided Boulevard

A divided boulevard within a 70-foot wide right-of-way. It has two 18-foot wide pavement sections separated by a 10-foot wide landscaped median.



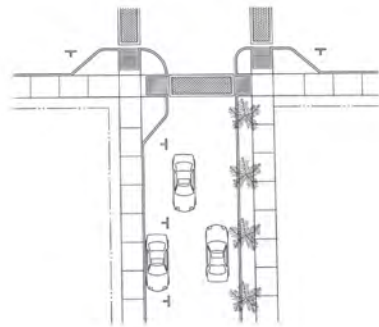
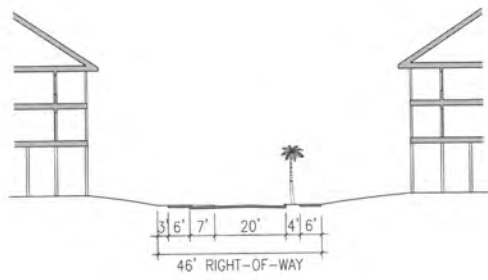
CL-60 Close

A close is used at stub ends of streets as an alternative to the conventional cul-de-sac bulb. It is a divided section located within a 60-foot wide right-of-way, consisting of two 17-foot wide pavement sections separated by a 10-foot wide landscaped median, which allows a vehicle to turn around at the end of the street.



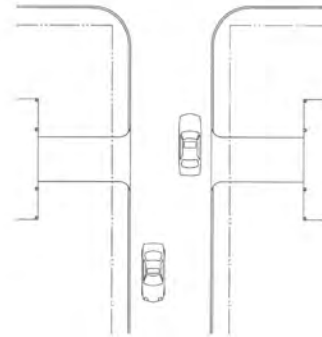
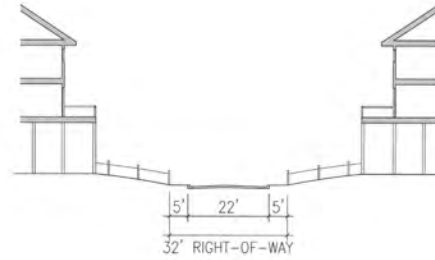
RD-50 Residential Street

A conventional residential street within a 50-foot wide right-of-way. It consists of a 27-foot wide pavement section that allows for one lane of moving traffic in each direction as well as a curbside parking lane on one side.



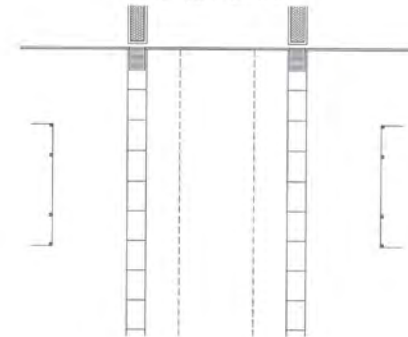
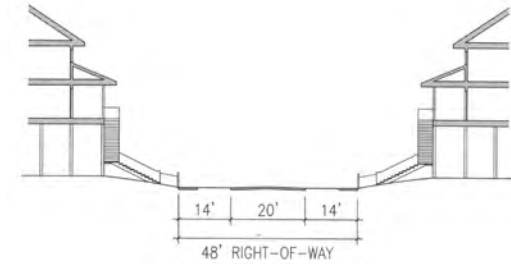
RD-46 Residential Street

A conventional residential street within a 46-foot wide right-of-way, consisting of a 20-foot wide pavement section.



LN-32 Lane

A 22-foot wide pavement section within a 32-foot wide right-of-way. This lane is intended for slow two-way traffic and serves primarily as a vehicle access for the lots, similar to an alley.



PA-48 Pedestrian Passage

A “passage” street, from the French word for a pedestrian way. This is a landscaped 48-foot wide right-of-way that has no pavement.

D. Summary of Regulations

The design criteria for Beachside Village are established in the Traditional Neighborhood Development (TND) District of the City of Galveston Zoning Ordinance and further defined in this Pattern Book. The intent of the regulations is to:

- Facilitate the planning, design, and construction of a quality beachside community reflecting the unique character of the Texas Gulf Coast;
- Encourage architectural themes that reflect the scale, details, ornamentation, and mix of uses characteristic of traditional Texas coastal vernacular;
- Encourage the creation of a “Main Street” with broad sidewalks and public spaces for a variety of pedestrian activities.

General Provisions of the regulations include:

1. Beachside Village shall be developed with a common architectural theme, to include buildings, signage, fencing, lighting, paving, curbing, and landscaping;
2. Each building shall have a galvanized metal gable, hip, or gambrel roof with exposed rafter tails; the use of flat or shed roofs is limited to secondary elements such as porches and towers;
3. Beachside Village will have a neighborhood center with commercial buildings and services available to residents and the broader community.
4. All portions of the development shall be linked via a continuous pedestrian pathway network, and designed to encourage pedestrian circulation.

Specific provisions for elements such as lot coverage, lot area, setbacks, height, etc., for commercial and residential building types are covered in detail in the next two sections of this pattern book.

The regulations are intended to:

- Place commercial buildings so that they front directly on the primary street they face. They shall have a minimum front setback from the sidewalk and shall have open, permeable uses at the lower level to promote pedestrian activity and human interaction. Parking shall be placed behind and under the buildings and screened from public view by landscaping.
- Promote an active relationship between the house and the street. Front porches are required, and the main stair leading to the first level must be of an open, welcoming layout with an intermediate landing designed to minimize the effect of the grade separation.
- Provide for a consistent architectural expression that evokes the traditional Texas vernacular. The style is characterized by simple volumes with pitched metal roofs, wood siding, and generous porches.
- Ensure a high quality of construction, with appropriate materials, finishes and details.
- Establish standards for site development, including minimum requirement for landscaping, lighting, fencing, and paving.

Design of all structures within Beachside Village is subject to a series of reviews by the Community Association and the Town Architect to ensure compliance with the intent of this pattern book. The body of the design review procedures is reproduced in Section VI of this pattern book.

The following sections of the pattern book present the detailed requirements for the specific elements of the community.

- Section III deals with the commercial building in the Village Center.
- Section IV deals with the residential buildings.
- Section V deals with site elements such as landscaping, paving, and lighting.

The Village Center

Commercial lots are provided flanking the main entrance to Beachside Village, and extending along Sea Butterfly Road. This location is fairly central to the community as well as taking advantage of proximity to the highway to serve through traffic. Much of the public beach parking is also provided in this area as curbside parking, allowing the commercial buildings to benefit from this additional traffic.

The commercial buildings are intended to house primarily retail uses on the first level. This level will actually be located about 8-10 feet above grade and served by an elevated boardwalk fronting the buildings. The commercial buildings are subject to the provisions of this section.



Beach Club



Pier 39

A. Lot Development Standards

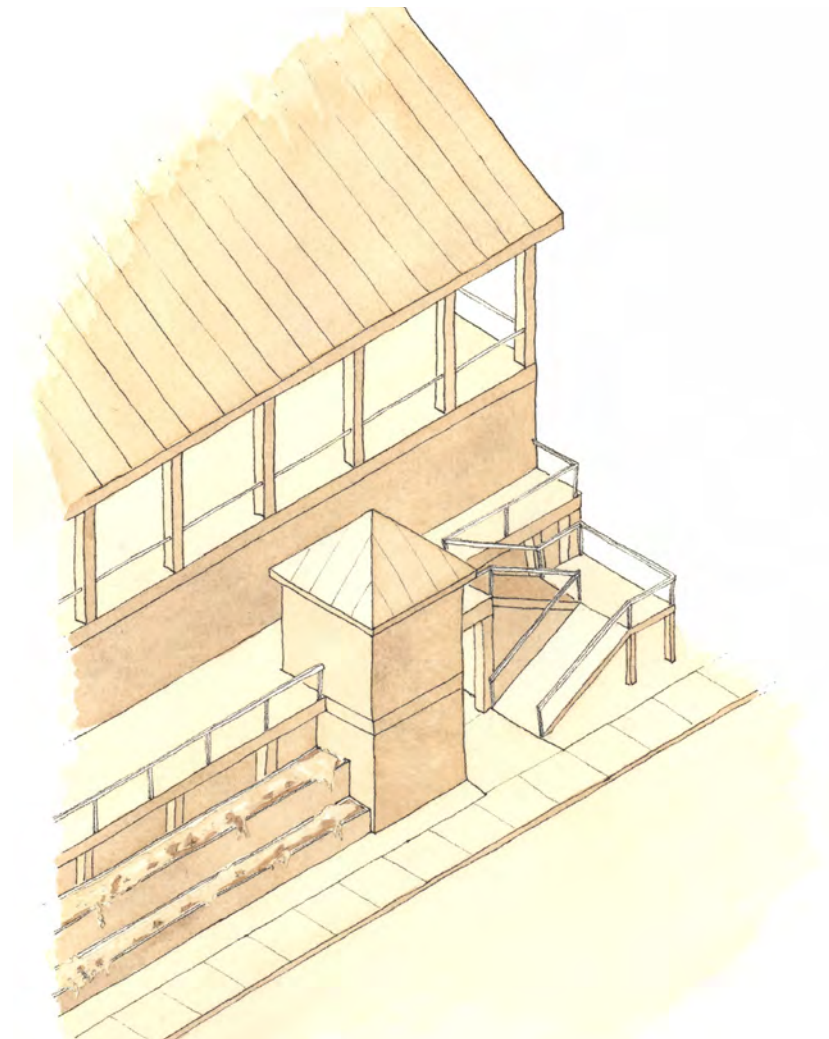
1. The general disposition of building elements on the site is illustrated in this drawing. The buildings shall front on the main entry drive and turn the corners to continue fronting on the east-west street.
2. The buildings shall have a continuous elevated boardwalk fronting the street and directly abutting the building frontage. This boardwalk zone shall be a minimum of 10 feet wide.
3. The buildings shall be located directly abutting the boardwalk with a floor level matching that of the boardwalk. The intent is to create a continuous street front to promote pedestrian circulation along the boardwalk.
4. There is a minimum 10-foot setback along the side property lines, defined as the lines that terminate the boardwalk zones.
5. Parking areas shall be located behind the buildings, in the area indicated on the

drawing. Parking shall be accessed from Sea Butterfly Road and Grand Avenue along the building frontage. Parking may also be located under the building, if screened from view along the frontage.



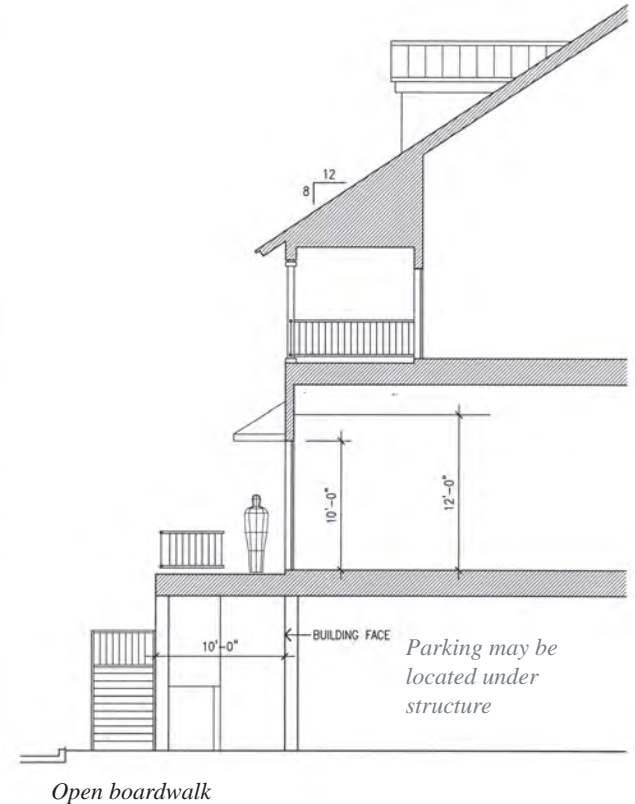
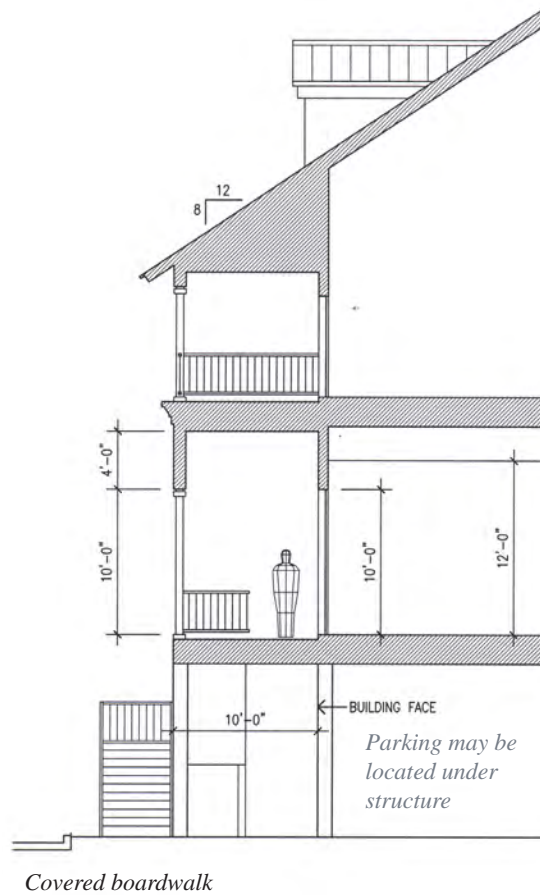
B. Massing and Composition

1. Buildings shall be horizontally oriented to front the boardwalk, and shall form a continuous street face to the maximum extent practicable. At least 80 percent of the total site frontage shall be occupied by a building façade.
2. All street façades fronting the boardwalk shall contain openings, either doorways, shop windows, or storefront glazing systems, comprising at least 40 percent of the total façade width for any given elevation.
3. The building face may be set back to form a courtyard for a maximum of 50 feet of frontage. This may occur only once in each building. Courtyard elevations shall contain openings as for street elevations, as described in item 2 above. The boardwalk shall continue uninterrupted in front of the courtyard.



Boardwalk

4. Arcades, canopies, awnings, or other such means of sheltering the boardwalk are encouraged. These elements may project over the boardwalk zone, up to the edge of the right-of-way. In the case of a structural arcade, the face of the arcade shall be placed at the right-of-way line. Upper floors, where provided, may occupy the space above the arcade.
5. Upper floors are encouraged, and may include uses different from the ground floor occupancy, for example, office or residential uses. Maximum building height shall be three occupied stories
6. Corner conditions should be distinguished by a specially articulated portion of the building that addresses both street frontages in a similar manner. Such elements should be a minimum of two stories (in expression, if not in actual occupancy) and may be enhanced with such elements as towers, arcades, distinctive roofs, etc.



C. Key Elements and Details

1. Boardwalk. The elevated boardwalk may be constructed of any acceptable structural materials, but the intent is for it to harmonize with the design of the building. Columns, guardrails, and skirt materials should be predominantly of wood. The walk surface may be of wood or composite, or may be of other suitable hard materials such as concrete pavers or clay tile, if there is a suitable substrate. If wood boards are used they shall be natural cedar, cypress, or redwood boards, or pressure-treated pine. Floor boards shall be continuous for the entire width of the boardwalk and shall be spaced to leave no more than a 1/4" gap between boards.
2. Benches. Benches are encouraged along the boardwalk. They may be placed at the building face or along the guardrail, but, in any case, must leave a 6-foot wide clear path for circulation.
3. Stairs and Ramps. Stairs and ramps or elevators are required to connect the boardwalk with the sidewalk at grade. All parts of commercial buildings shall be accessible by ramp. Ramps and elevators need not be located along the boardwalk if access to parking, etc., indicates a more logical location, as long as it remains easily accessible from the frontage.
4. Storefronts. Storefronts may consist of wood, or clad "profile" type opening systems with wood look, or aluminum storefront systems. Aluminum storefront systems shall be limited

to no more than 16 feet in length for any given contiguous element. Aluminum finish shall be factory finished white enamel.

5. Mixed Use. The intent is to have primarily commercial uses along the boardwalk frontage, with residential located above.

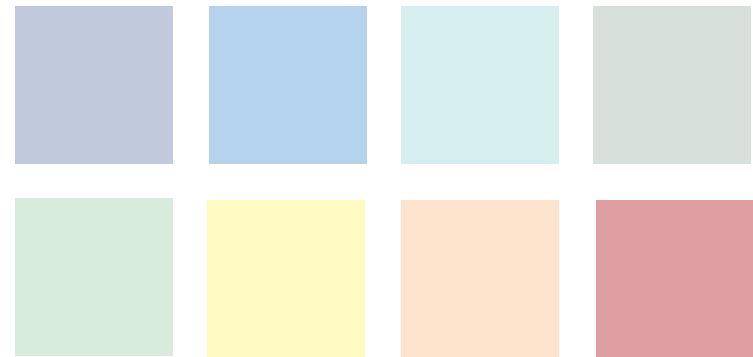


D. Exterior Materials and Finishes

1. Walls. Exterior walls shall be finished with horizontal lap siding, which may be composed of wood or Hardiplank. No vinyl or aluminum siding is permitted. Siding must consist of individual boards; pre-manufactured sheets are not permitted. Trim shall be wood or Hardiplank.
2. Roofs. Roofs shall be finished with galvanized steel or galvalume roof panels. A variety of patterns and techniques may be used, including standing seam, batten seam, “5-vee” crimp, or Bermuda roofing. Horizontal seams shall be aligned. Roof panels shall be naturally finished metal; factory-applied painted finishes are not permitted. Flashing and drip edges shall be stainless steel.
3. Windows. Wood frame or clad “profile” type with wood look is required. Economy aluminum windows are not permitted.
4. Doors. Wood paneled doors, clad wood doors, or flush doors with glass lites are required for front entrances. Aluminum doors may be used as part of an aluminum storefront system, but shall be either medium or wide stile design with a horizontal lock rail.
5. Trim. Hardi-board or an equivalent cementitious material should be used wherever possible. Wood should be paint grade “B & Better” and should be treated. Corner boards

and opening trim shall be minimum 3.5 inches wide, cornice boards and fascias shall be minimum 5.5 inches wide.

6. Colors. Bright or pastel colors in a variety of hues, generally no less than 30 percent light reflective, are acceptable for field colors for wood siding. Brown and beige tones should be avoided; the intent is to create a bright and festive atmosphere. Darker colors should also be avoided, particularly red tones, as they have a tendency to fade quickly. Wood trim shall be bright white such as Sherwin Williams “Extra White”. All paint used on exterior surfaces in Beachside Village shall include mildicide.



Examples of acceptable exterior colors.

A. Lot Development Standards

Residential Lots

There are a variety of different sized lots in Beachside Village. In ascending order of size, they are Cottage, Village, Manor, and Beachfront lots:

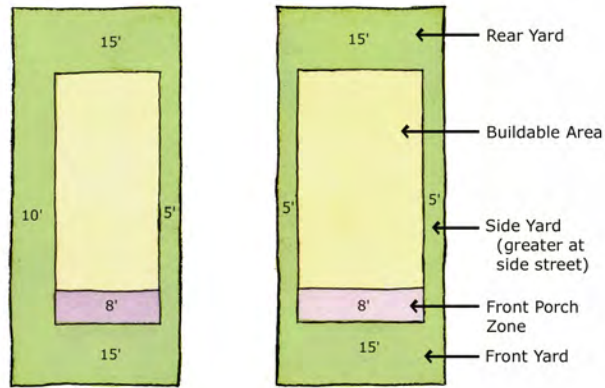
- Cottage Lots; generally 40 to 45 feet wide by 105 feet deep.
- Village Lots; generally 45 to 60 feet wide by 110 feet deep.
- Manor Lots; generally 60 to 70 feet wide by 120 feet deep.
- Beachside Lots with Gulf of Mexico frontage; generally 70 to 90 feet wide by 200 feet deep.



Beachside Village Site Plan

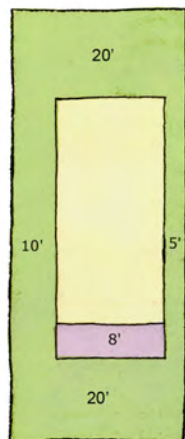
The various lot types are illustrated in the Figures on pages 17 and 18. Each type of lot has differing requirements for setbacks, or yards, on all sides that determines the buildable area of the lot. Typically, there is a larger front yard as the lot gets larger, and side yards are greater for corner lots.

Note that lots with a side along a Greenway (for example, Lots 52 and 53) shall be considered corner lots.

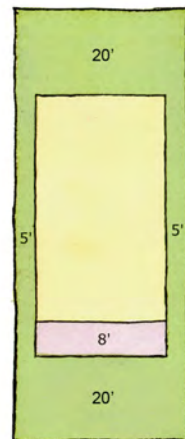


Corner Cottage Lot

Interior Cottage Lot



Corner Village Lot



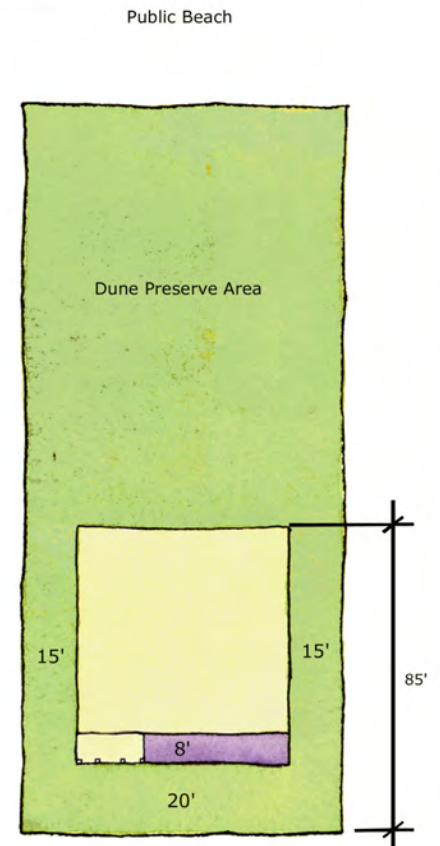
Interior Village Lot



Corner Manor Lot



Interior Manor Lot



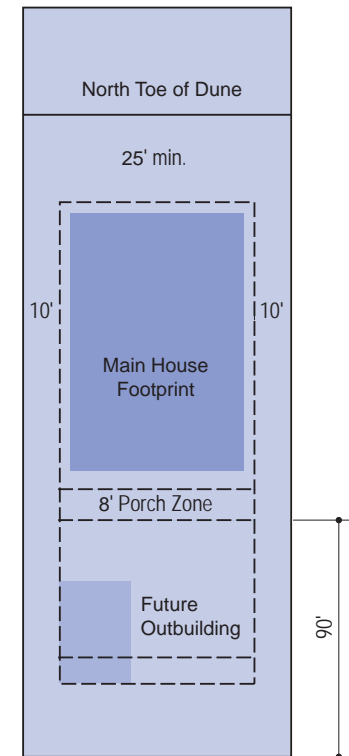
Beachside Lot

Lot Setback Diagrams Phases I & II

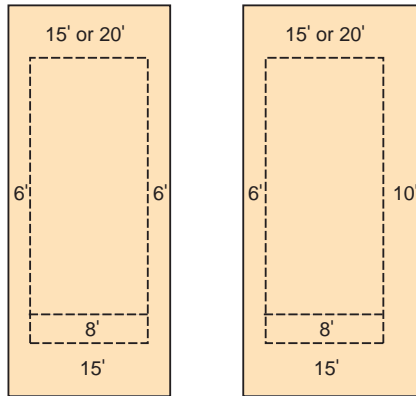


Key Map

Beachfront Lots



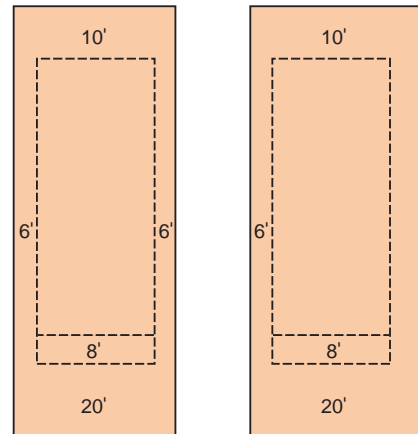
Cottage Lots



Inside Lot

Corner Lot

Village Lots



Inside Lot

Corner Lot

10' on street
15' on greenway

Lot Setback Diagrams Phases III, IV and V

Building Placement

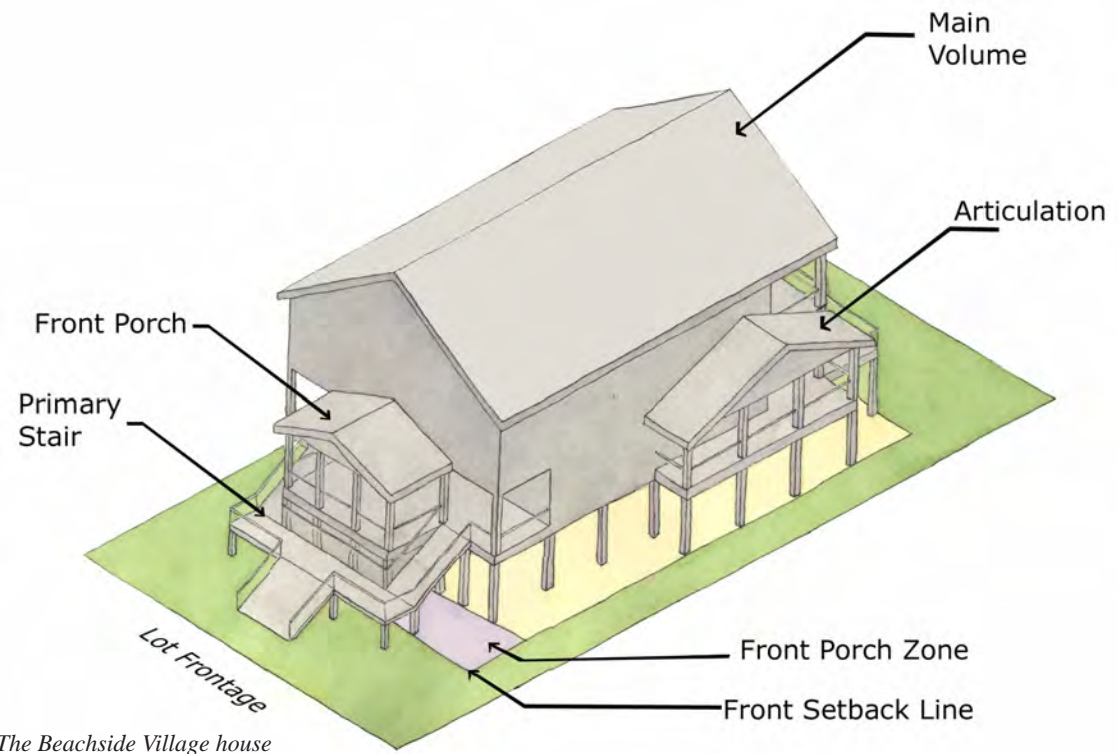
Each lot has a buildable area located within the setbacks (also referred to as yards) stipulated for the front, rear, and sides. The footprint of the building must be located entirely within this zone.

Exceptions:

1. Roof overhangs may project a maximum of two feet into the setbacks on any side of the building that have side setbacks greater than 6' (Manor and Beachside lots only). For construction closer than 6', roof overhangs must be reduced as necessary to limit the edge of the overhang to at least 5' from an interior lot line.
2. Balconies, bay windows, and other similar projections that cantilever from the main volume of the house may project a maximum of two feet into any yard with side yards of greater than 5' (Manor and Beachside lots only). For lots with a 5' minimum side yard, no projections closer than 5' are permitted.
3. Stairs leading from the ground level may project approximately twelve feet into a front or rear yard but may not encroach a utility easement if present. Stairs may not project into a side yard.

The front setback line is a build-to line; i.e., the front edge of the front porch must be placed on this line. The front setback line also represents the front edge of the front porch zone, required for all houses in Beachside Village. This zone shall be a minimum of eight feet deep, typically, and ten feet deep on lots fronting Greenways, and can only be occupied by an open porch.

Front porches shall not be screened in any manner and cannot block the view corridors of neighboring lots. Landscaping in the front yard and porch zones shall be kept low and slow growing. Taller trees are limited to rear yards and within the first five feet of the front property line.



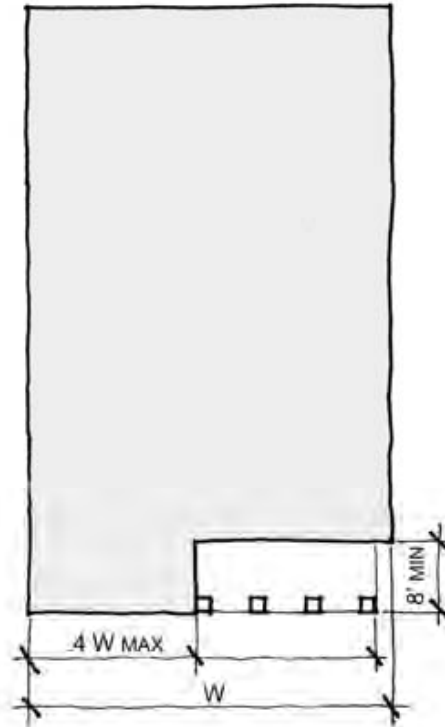
Exceptions:

1. On Cottage lots with a utility easement in the front yard, the front build-to-line may occur between 15' and 20' from the front property line to allow more flexibility for stair design. This condition occurs on the north side of Opihi, Sea Butterfly, and the north side of Starfish.

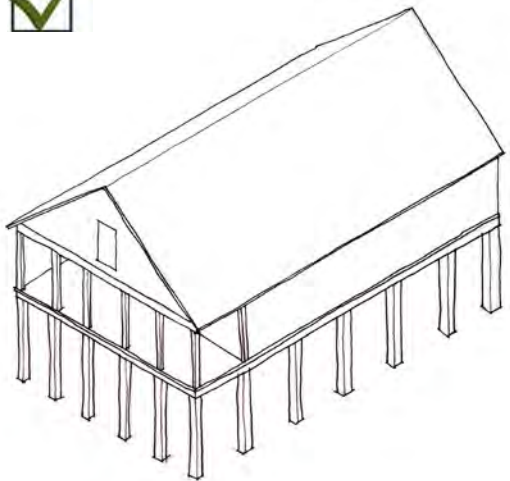
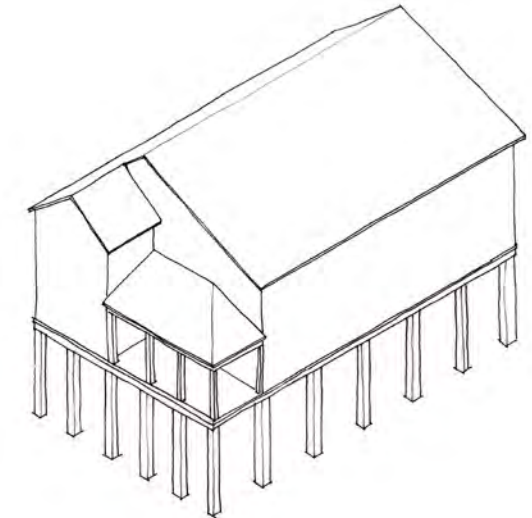
2. Beachfront Lots only. Occupied (enclosed) space extending to the front porch setback line is permissible for a maximum of 40% of the buildable frontage. This provision does not relieve the requirement for a front porch in compliance with Item 4 on Page 26.

The principal elevations of the house shall be parallel to the front property line. Where the front property line is curved, the principal elevations shall be perpendicular or parallel to a straight line connecting the front property corners.

On narrow Cottage Lots, the house may be oriented parallel to the side lot lines if that maximizes the buildable area.



*Occupied enclosed space.
Applies to beachfront lots only and is optional.
Occupied gable over porch is acceptable on
non-beachfront lots. (see image at right)*



Acceptable occupied enclosed spaces

Lot Frontage

All lots have a side considered to be the front and the house shall be designed to address this frontage. The primary stair and front porch shall be located on this side and the general massing of the house shall acknowledge this as the principal elevation. The frontage for each lot is shown on the plan shown.

For Beachfront lots, the frontage side is the street, or north, side. Any lot that abuts a greenway shall front on the greenway. Other lots shall have a designated frontage side as indicated on the lot frontage map.



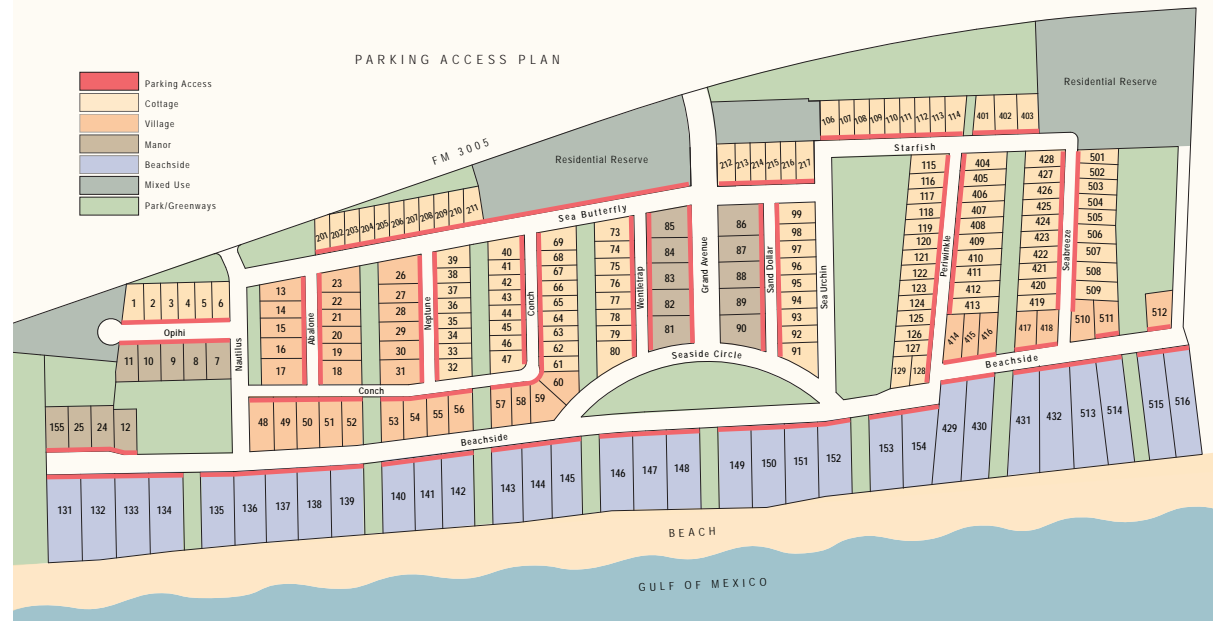
Lot Frontage Plan

Parking Access

Since the houses in Beachside Village must be elevated above grade, it is anticipated that most owners will park under the house. Parking access onto the lot will be from the street or lane bordering the lot, which may or may not be the primary frontage of the lot.

The width of the driveway shall be a maximum of 12' feet where it crosses the property line. A maximum of two curb cuts is permitted on each lot for driveway access. All driveways that occur on the lot frontage (that is, on lots that do not have rear lanes) must have an upgraded pavement treatment such as brick pavers. Integral color tone concrete panels are acceptable, provided that they have brick borders at least 8 inches in width.

Each developed lot shall be designed to accommodate a minimum of four off-street parking spaces, either under the house or on the driveway. Tandem parking under the house is encouraged to maximize use of the base zone and to mitigate visible cars on the lot.



Parking Access Plan

B. Massing and Composition

1. General. Houses should be composed of simple, rectilinear geometric forms. Elements such as side or rear wings may be used when clearly expressed as secondary, subordinate elements by lower ridge or eave lines, different materials, etc. Diagonal walls should be avoided and are generally appropriate only for subordinate elements such as bay windows and towers.

2. Raised podium. The nature of the storm hazards on the Gulf Coast dictates that the occupied levels of all houses in Beachside Village are located approximately one full level above grade. This is generally accomplished by raising the main volume of the house on a series of vertical piles. This “house on stilts” look is an essential characteristic of the house, and must be handled in a disciplined and consistent manner. The following provisions apply:

a. Establishing a consistent platform elevation above grade is an important aspect of ensuring a consistent community character. The following elevations, measured to the bottom of the lowest horizontal structure of the platform, are mandatory:

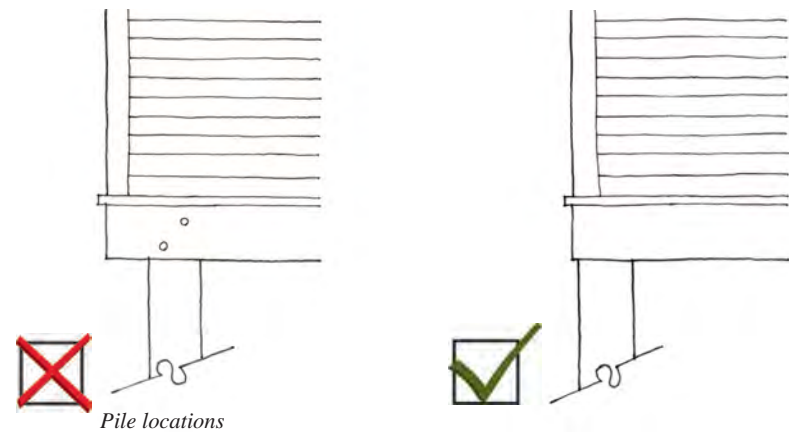
- +18.5’ above mean sea level for all lots except Beachfront Lots
- +19.5’ above mean seal level for Beachfront Lots only

b. In Phases 4 and 5, the prescribed elevations to lowest horizontal structure are:

- +19.5’ above mean sea level for all lots except Beachfront Lots
- +20.5’ above mean seal level for Beachfront Lots only

These elevations have been established to provide for a sufficient margin above the required FEMA elevation to qualify for a reasonable discount on hazard insurance. Elevation benchmarks have been set by a surveyor throughout the community to provide consistent control points for setting platform heights. A map of these benchmarks is provided in Section VI of this Pattern Book.

- b. Piles shall be placed in a rational, geometric pattern and evenly spaced, and shall be designed and finished in a consistent manner.
- c. Piles should not be set in from the edge of the floor platform by more than 6 inches, preferably less. The furring of the outer surface to align with the wall above is encouraged. Piles may be furred and framed to appear consistent with the wall material above, as long as the required clear area between piles is maintained.

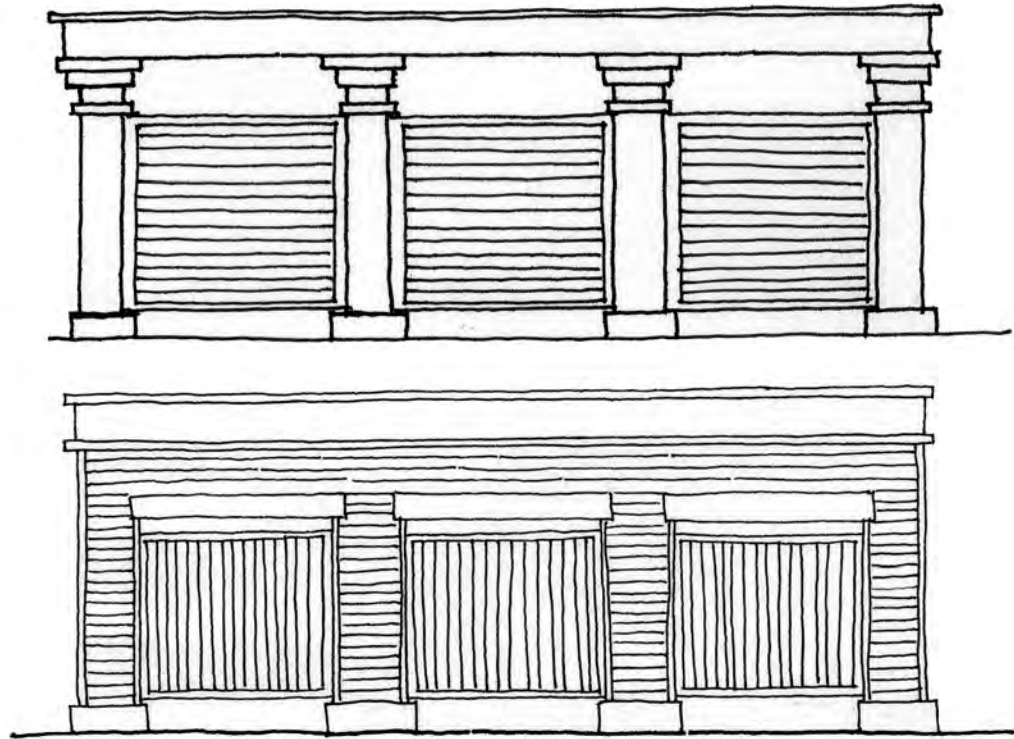


d. A variety of screening materials are permitted to frame the openings, provided they meet building code requirements. A screen must be placed between all piles that do not contain a drive.

e. All portions of the ground floor zone that occur under the enclosed portion of the house shall be screened. Various forms of screening are permitted, including trellis or louvered panels. A maximum of 300 square feet of the area under the platform may be enclosed with solid walls, although any such walls (as well as screens) must be constructed with breakaway details to allow the screening or enclosure to break away from the piles in the event of a storm surge.

In general, areas under porches or projecting stairs shall not be screened.

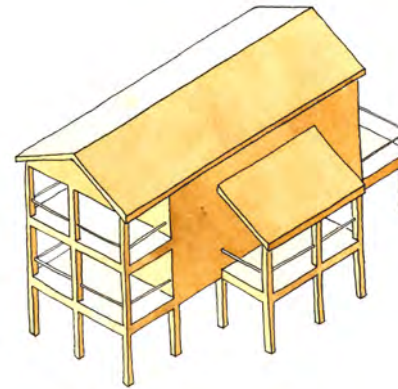
f. Pilings may not be set or driven on weekends.



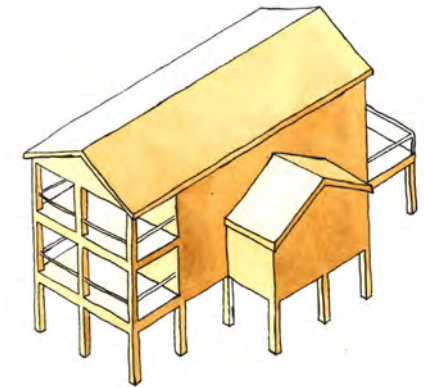
Openings between pile placement should be screened with some type of closure panel. Any panel should be fastened with a “breakaway” detail in the event of a storm surge.

3. Articulation. The primary, simple volume of the house is allowed a maximum of two horizontal articulations and one vertical articulation. For example, a house with a rectangular plan is allowed to have a maximum of two wings projecting from the main rectangular form. Similarly, this house may also have one vertical articulation such as a setback of an upper story or a tower element projecting above the main volume. Refer to the diagrams on this page for clarity. Note the following provisions:

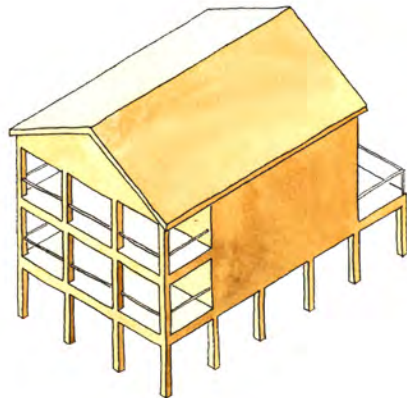
- a. The articulated element, i.e., a side wing or a tower shall be clearly expressed as subordinate to the main volume of the house.
- b. A porch is not considered to be an articulation when it is composed as an integral part of the main volume of the house.
- c. Stairs, sundecks, balconies, dormers, bay windows, and other secondary compositional elements are not considered articulations for the purposes of this rule.



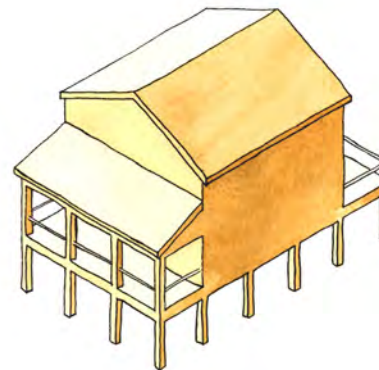
A maximum of 2 horizontal articulations are permitted.



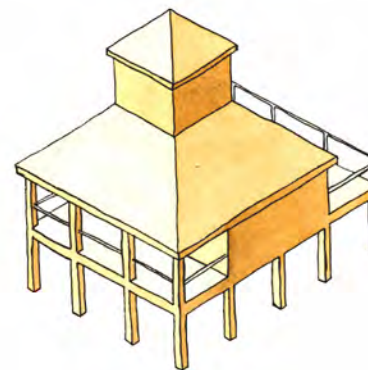
Articulations should read as subordinate to the main volume.



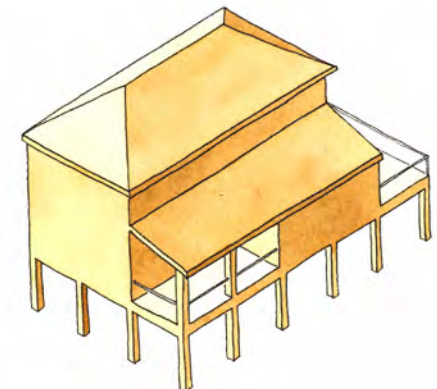
A porch may be integral to the main volume of the house.



A porch may also be expressed as an articulation from the main volume.



Second story setbacks or tower elements are considered vertical articulations.



Side porches are considered horizontal articulations.

4. Porches. Front porches are required on all houses. Porches shall be a minimum of 12 feet wide and 8 feet deep, and shall align with the front setback line. Enclosed living space or any form of screening may not occur in the front porch zone. Note that there is an exception for Beachfront Lots only that permits a portion of the front porch zone to contain enclosed space (see page 19.)

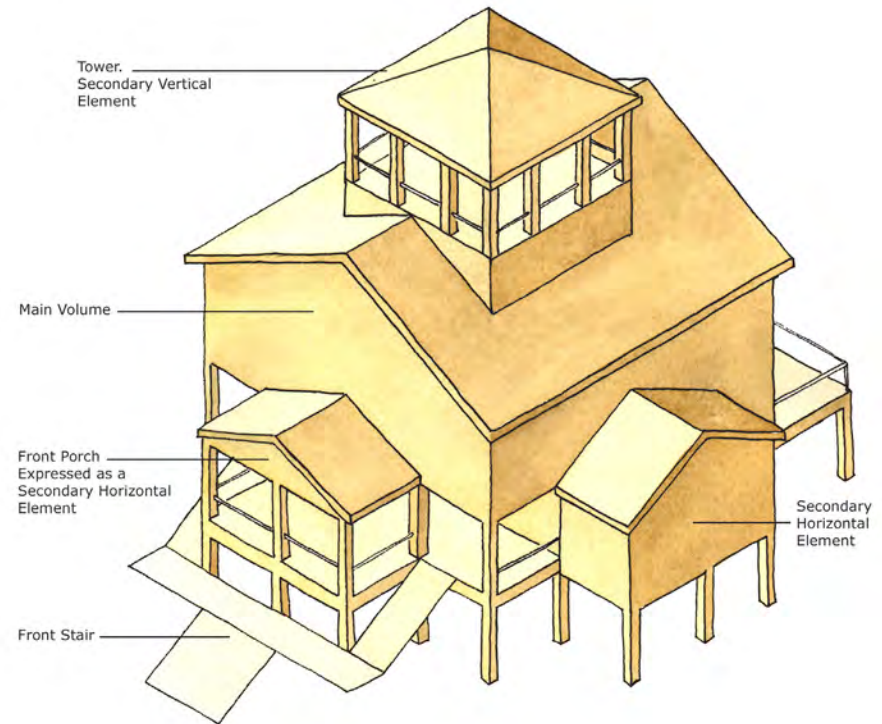
On corner lots, porches should wrap the corner and continue along the corner side for a minimum of 12 feet. Note that this is a recommendation only, however, side facades facing a street or Greenway shall be treated as primary elevations with appropriate openings, porches, and other distinguishing features.

5. Floor Elevation. The primary occupied level shall be elevated to 2.5' above the required FEMA elevation above the mean high tide, corresponding to about 12 feet above the prevailing natural grade. The parking slab under the building shall be set at 12 inches above the crown of the road fronting the lot.

6. Roofs. Roofs shall consist of simple geometric forms such as gabled or hip styles. The required roof pitch for the principal volume of the house shall range from 5:12 to 8:12, however, different roof pitches are permitted for subordinate elements such as porches or towers. Shed roofs are permitted only for subordinate elements such as porches, and must frame into a wall. Flat or low-pitched roofs may also be used for subordinate elements, but must be screened by parapets on the street façade.

7. Gables. A maximum of two street facing gables are permitted on the front façade, excluding dormers and wall dormers.

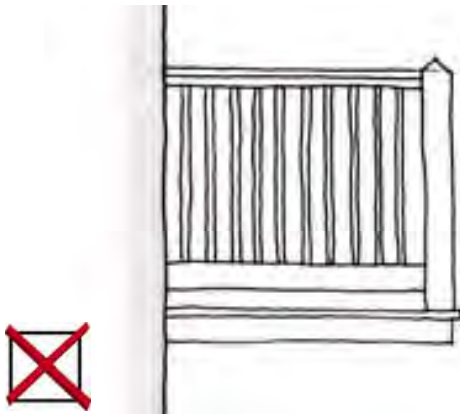
8. Dormers. Dormers are encouraged, particularly on large expanses of roof.



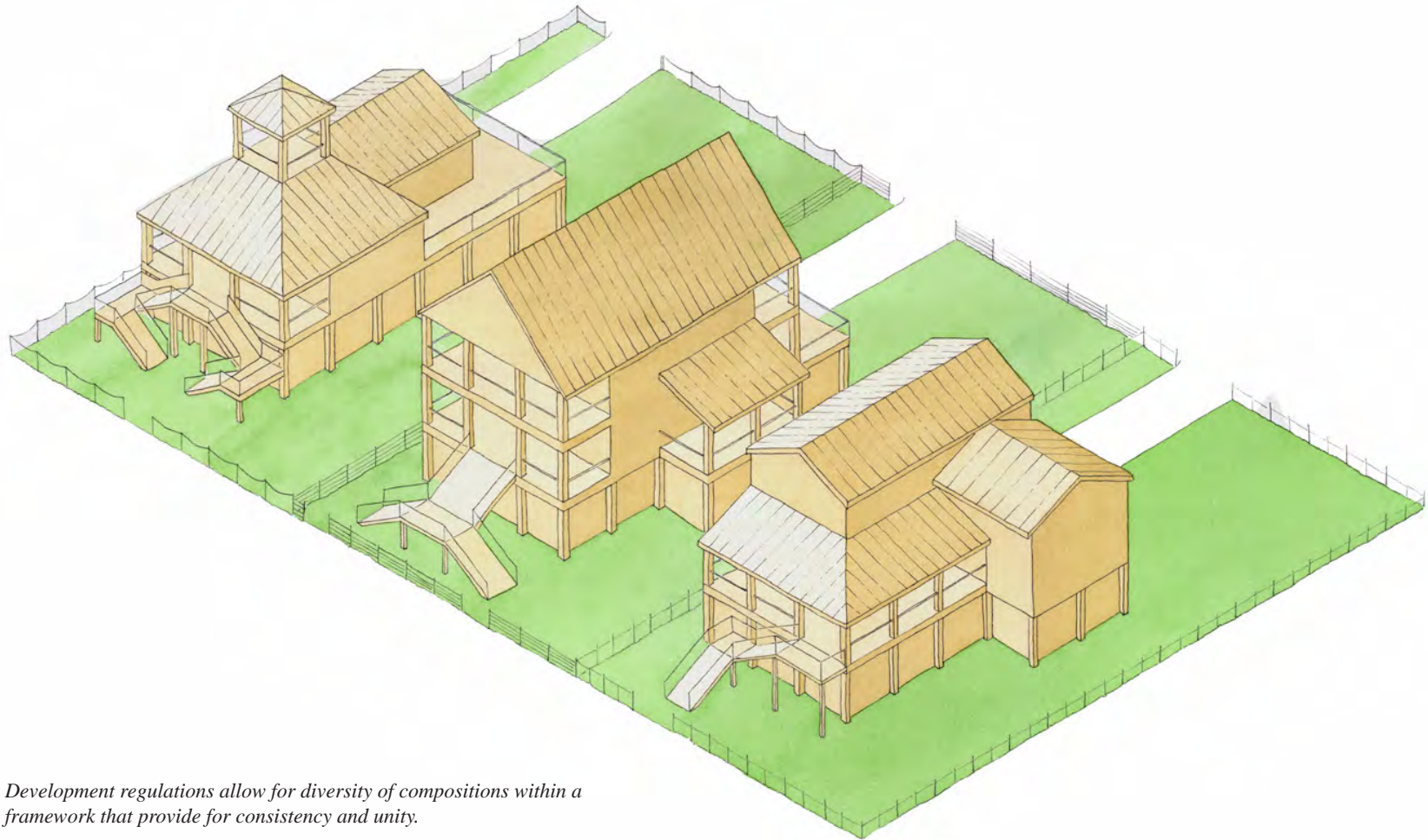
Elements of the Beachside Village house

9. Towers. Towers may be used as a compositional element and are considered to be a vertical articulation. Towers may include occupiable space above the second floor, not to exceed 200 square feet excluding the stairway. Towers shall have the same roof material and architectural detailing as the rest of the house, and shall have openings equal to a minimum of 50 percent of the length of the tower walls.

10. Bay Windows, Balconies, and other Projecting Elements. A projecting element shall be provided with some visible means of support, whether or not this is the actual structural support. Such support elements shall consist of two distinct elements: a horizontal band that expresses the floor platform of the projecting element, and, below this, some type of corbel or bracket that appears to support the platform.



Appropriate visual support for projecting elements



Development regulations allow for diversity of compositions within a framework that provide for consistency and unity.



This elevation shows a simple, dignified massing that would be appropriate for a smaller house. Note the classic proportions and the strong symmetry with an emphasis on the central bay. The picket fence indicates the private realm yet the stair composition forms an open and inviting element.



This elevation depicts a simple main volume enhanced by two smaller side wings and a tower/observation deck. This decidedly vertical composition would be appropriate for an interior lot, with the ability to capture gulf views from a distance. In this case, the stair leads to a small porch, but still addresses the lot frontage in a straightforward, direct manner.

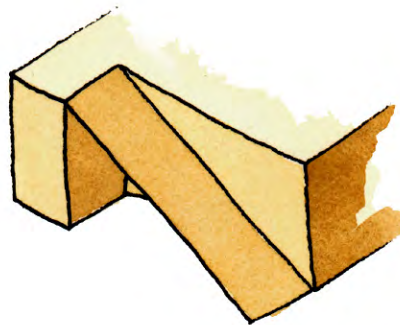



The above elevation could be construed to have too much articulation to meet the rules described here, however, this would be considered an acceptable massing. The tower and the side wing are clearly articulated from the primary volume, but the roof deck and half-gable over the doorway are expressed as minor elements and well-integrated into the overall composition. This elevation conveys an idea of the range of possibilities inherent in these design standards. Note also how the stair makes a welcoming gesture and helps to make a human-scaled transition to the level of the porch.

C. Key Elements and Details

1. Stairs. Exterior stairs are required to access the occupied first floor of the house, located approximately one floor above grade. The primary stair, located along the frontage side of the house, is considered a major element defining the character of the Beachside Village house. This stair is subject to the following provisions:

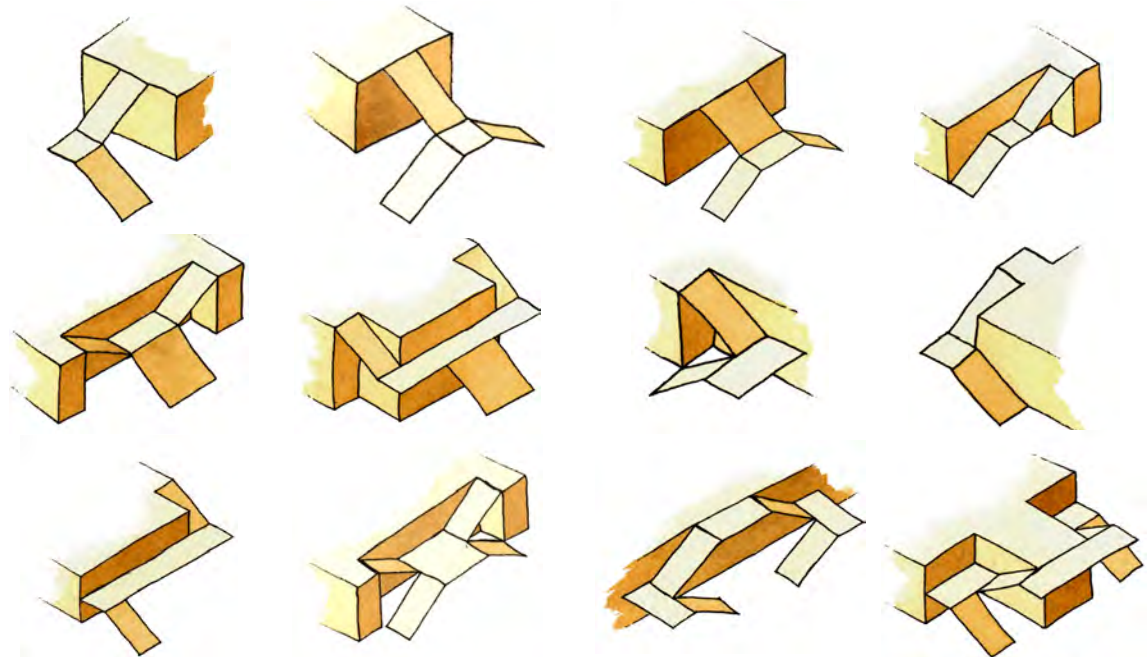
- a. The Primary stair shall be a minimum of four feet wide.
- b. The stair shall lead to the front porch of the house.




 *Straight run stairs with no landings are not permitted.*

c. Landings. The stair shall have a landing at the approximate halfway point of its rise. The landing length shall be at least as long as the width of the stair. The landing should be considered as a secondary deck space that helps to make a visual transition from the ground plane to the occupied level. Elements that

enhance the landing beyond its functional purpose are encouraged, for example, projecting bays, special baluster treatments, etc. Secondary stairs, i.e., those leading to sun decks at the rear of the house, may be single flight stairs as long as they meet the appropriate provisions of the building code.



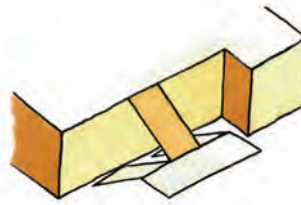
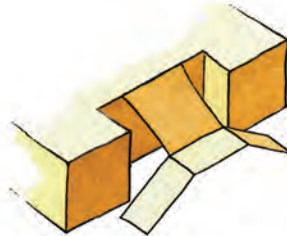
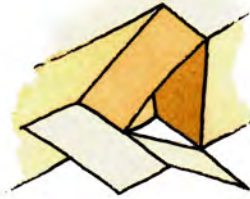
 *Stairs are required to have at least one landing and should be of an open, welcoming design. Changes of direction or compound of stairs are encouraged.*

d. Generally, the primary stair is intended to project into the front yard, in front of the front porch. The primary stair may also be located partially in the front porch zone, provided:

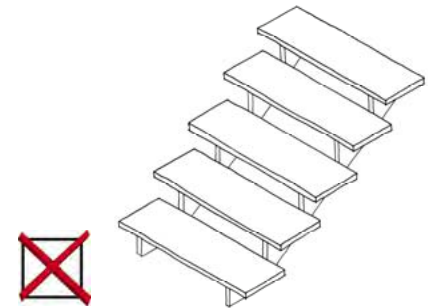
- i) There is a front porch meeting the minimum dimensions and provisions of this Code, in addition to the stair.
- ii) A portion of the stair shall project a minimum of five feet into the front yard.

This provision is particularly to be applied in situations that have limited front yard space, i.e., Cottage Lots with a utility easement occurring in the front yard.

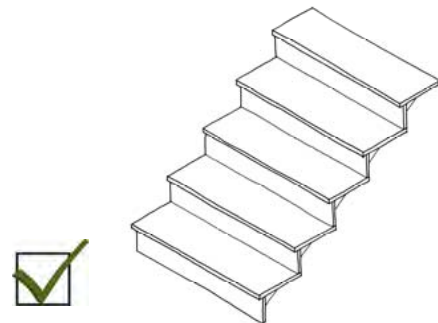
e. All stairs shall have closed riser faces. Open riser stairs are not permitted.



Primary stairs may be located in porch zones on limited front yard lots



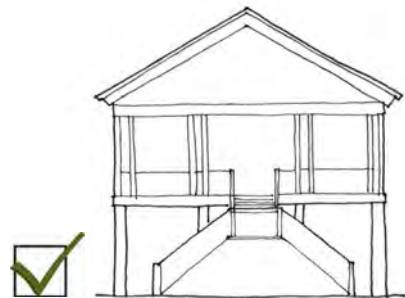
Open risers are not permitted on primary stairs



Closed risers on primary stairs

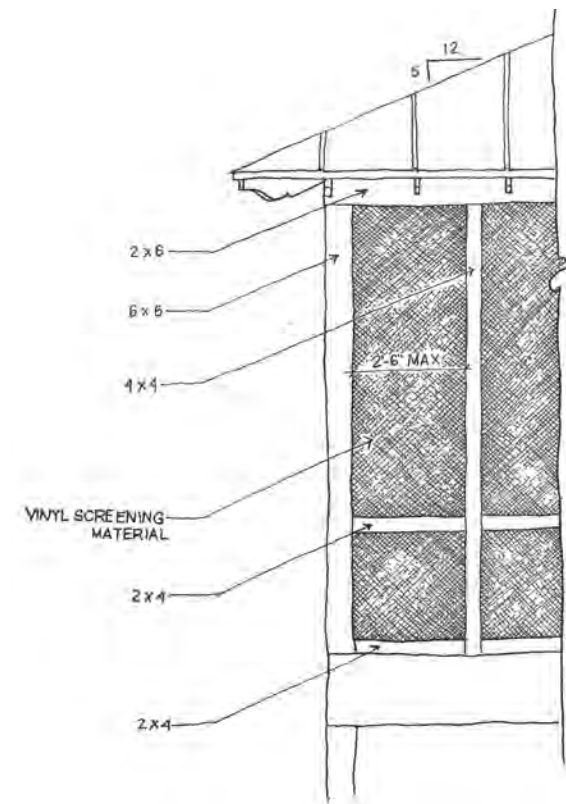
2. Porches. Porches are required on the front of the house and may be used on other sides. On side or rear elevations, porches shall be a minimum of eight feet wide and six feet deep. Porches must be roofed in an architectural style consistent with the design of the house. Porch guardrails shall be composed of repetitive elements such as balusters that give an open, semi-transparent quality to the guard-rail. Rear and side porches may be screened. Screen system shall be composed of a high quality vinyl or fiberglass with snap in trim, copper screens are not permitted.

Front porches shall be a minimum of 8 feet deep, which is the depth of the porch zone as defined by setbacks and building lines. For lots fronting on Greenways, that is, where the front porch is perpendicular to the beach, the front porch shall be a minimum of 10 feet deep. This is intended to increase the open view corridor toward the beach. In these cases, the front of the porch shall be placed at the porch building line, while the enclosed space will be set back at least 2 feet behind the front building line.



Porch column spacing

The front or main porch should have an even number of columns and an odd number of bays. The column spacing should be consistent. An uneven column spacing may be justified in special circumstances, as in a wider central bay to emphasize the entrance.

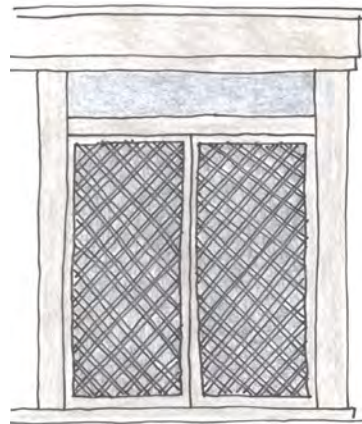


Porch screening

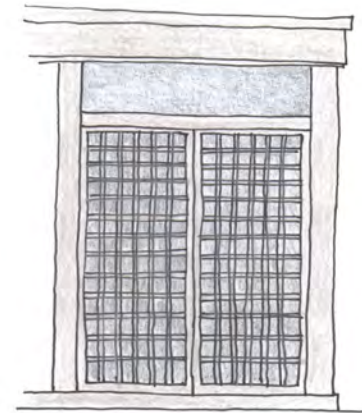
Column placement should reinforce good design principles. A central column in a symmetrical facade tends to look awkward and unbalanced; one expects to see an opening at the center. A center column may be unavoidable for narrow lots that need a double garage, but this can generally be limited to the rear elevation.

3. Sun Decks. Sun decks, or uncovered porches, may be located on the side or rear elevations of houses. Sun decks may also be located on the roof of any house. Sun decks should be enclosed by guardrails compatible with the design of the house. The guardrails may be solid or composed of a series of open balusters.

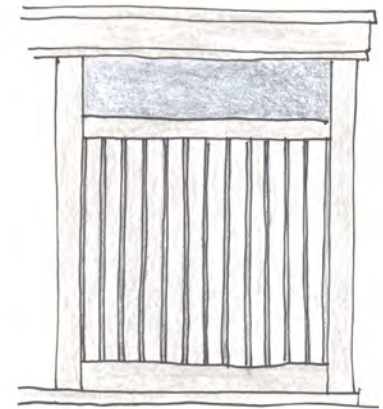
4. Privacy Screens. The area under the house shall be screened in order to mitigate the “house on stilts” look. This screening may be of a variety of designs, as shown on this page, but must appear to be an in-filled panel and must be of a suitably permeable or break-away design in accordance with the building code.



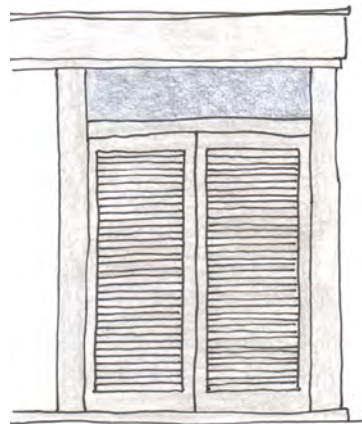
DIAGONAL LATTICE



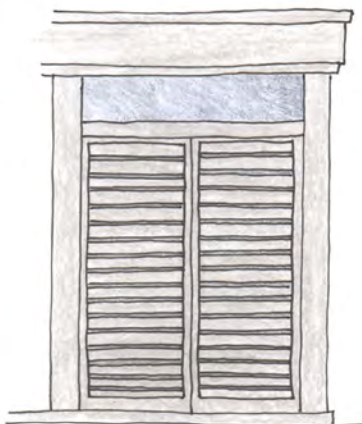
SQUARE LATTICE



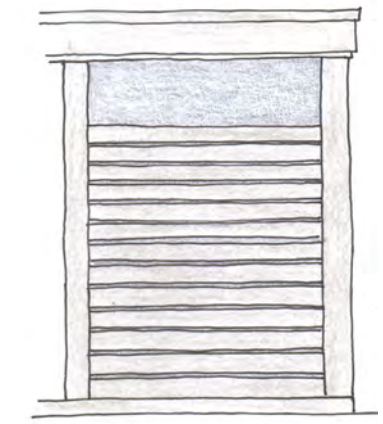
SPACED VERTICAL BOARDS



LOUVERED PANELS



LARGE LOUVERED PANELS



SPACED HORIZONTAL BOARDS

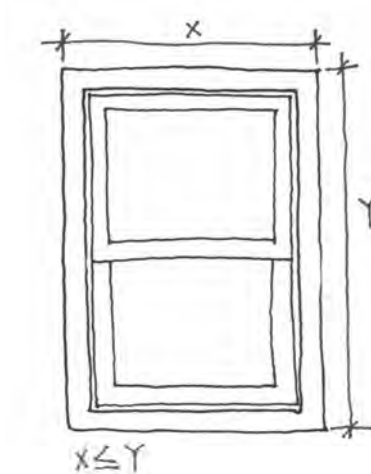
Types of allowable privacy screens

5. Windows and Doors. Windows and doors shall be made of wood, vinyl-clad wood or vinyl. Windows shall be hurricane proof. Insulated glazing is encouraged. Windows, doors, and trim should be compatible with the architectural style. Operable windows may be single hung, double hung, or hinged casement. Any single window should be vertically proportioned, i.e., taller than it is wide, although several windows may be grouped into a horizontal element.

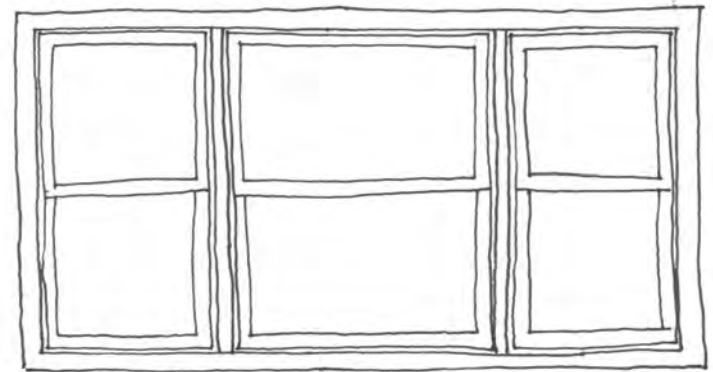
Style and trim of windows shall be consistent with the means and methods of wood frame construction. Widespread use of arched windows is not appropriate.

Proper window trim is an important element of the architectural character. Window trim shall mimic a post and lintel design, that is, the jamb trim shall appear to rest on the sill and the head trim shall appear to rest on the jambs. Head trim should be deeper, generally at least a 1x6, while jambs and sills are typically 1x4 members. More detailed profiles are also permissible, such as a cornice molding on top of the head trim.

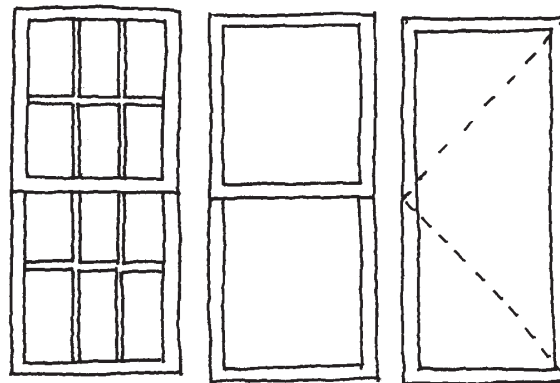
Mitered trim is not permitted, except for the occasional specialty window, (in a gable, for instance.)



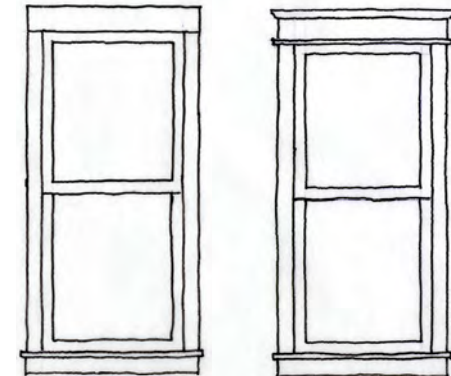
Windows should be vertically proportioned.



Windows may be combined to form horizontal elements.



Single hung, double hung and hinged casement windows are permitted



Window trim should be compatible with the architectural style of the rest of the house.

6. Shutters. Shutters should be real, operable units, but, in any case, shall be correctly proportioned to the window opening, i.e., with a width equal to one-half of the window width. Shutters are not permitted on double or triple windows. Rolling shutters are not permitted.

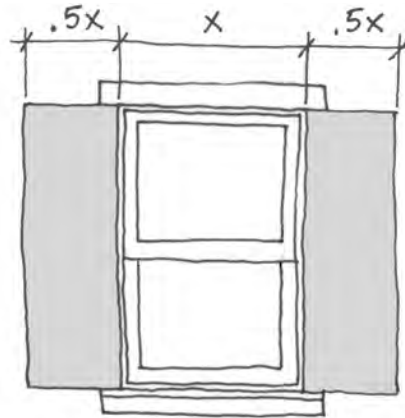
Faux shutters may be used to give the illusion of a shuttered window. Any faux shuttered opening shall be trimmed and detailed similar to other windows.

7. Specialty Windows. Specialty windows include such shapes as circles, ovals, and fans. They shall be used sparingly, generally only for accent purposes, and are not required to be operable. They shall be of similar materials and construction as the other windows in the house and compatible with the architectural style.

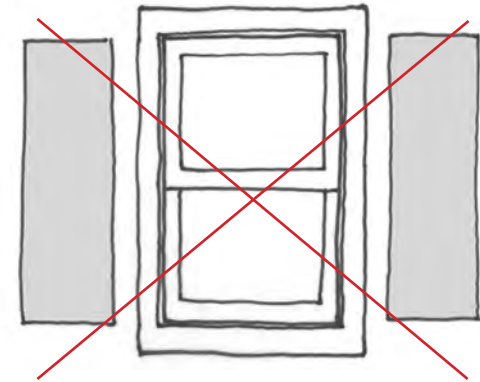
Arched windows are not appropriate for widespread use, but may be used as accents in special conditions such as gable ends.

Glass block is not permitted.

Specialty windows are reviewed and approved on a case by case basis.

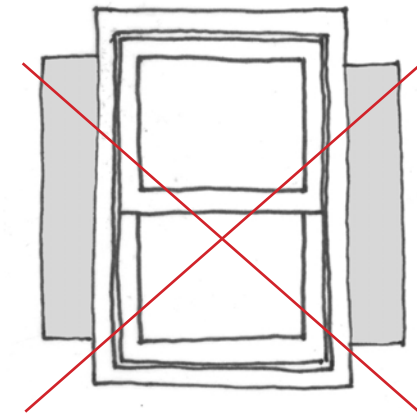


Shutters should be operable, but must be correctly proportioned.



Unacceptable shutters - Attached to wall

8. Exterior Doors. Front doors shall be painted or stained wood. Wood paneled doors and doors containing glass lites are encouraged. The style of the door should be compatible with the architectural style of the house. Sliding doors are not permitted.



Unacceptable shutters - Too Small



Windows should be vertical



Operable shutters are encouraged



Bahama shutters are permitted



Horizontal windows are not permitted.



Large picture windows are not permitted.



Rolling hurricane shutters are not permitted.



Shutters must fit proportionally with the window.

9. Floor Heights. Floor heights, as measured from the floor substrate to the top of the wall plate (conventional framing dimensions) shall be as follows:

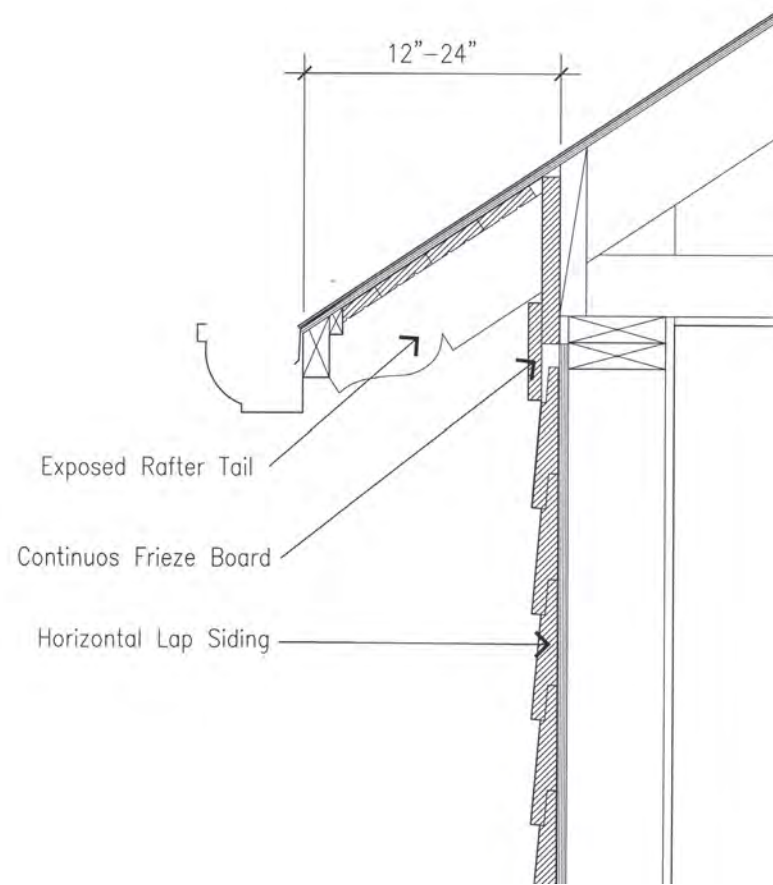
- a. First Floor: 9'-0" minimum.
- b. Second Floor: 8'-0" minimum.
- c. Half stories: 5'-0" minimum at the knee wall.

10. Head Heights shall be as follows:

- a. 8'-0" for floor heights of 9'-0" and greater.
- b. 6'-8" for floor heights of less than 9'-0" and half stories.
- c. Specialty windows and transoms may vary.

11. Roof Overhangs. Overhangs are required for all pitched roofs. Eave overhangs shall be 12 inches, minimum, measured horizontally from exterior wall face to outside of fascia board. Gable rakes shall overhang a minimum of 8 inches. Exposed rafters are required for all roof overhangs.

For lots located in Phases III and IV, no structure, including overhangs, may occur within five feet of the side lot lines. Lots in Phases I and II may have overhangs no closer than four feet to side lot lines. (See p. 17 & 18 for map indicating Phases.)



Typical Eave detail

12. Porches. Porches shall be framed by columns spaced a maximum of 8'-0" on center. Columns shall be a minimum of 4 inches square or turned (nominal dimensions) up to a maximum of 12 inches on major porches.

Columns shall support a dropped beam, minimum six inches below the soffit, and the same width as the column. Balusters should be square with tight spacing, or simple cut-outs from wide boards.



Typical porch construction

13. Fireplaces. Due to the elevated design of the house, true masonry fireplaces are neither feasible nor appropriate in Beachside Village. Fireplaces, either wood-burning or with artificial logs, are permitted. If projecting from an exterior wall of the house, the fireplace shall be finished with exterior wall materials similar to the rest of the house. If located away from an outside wall, the projection of the flue above the roof shall be framed and finished in a material and manner compatible with the exterior walls.

14. Elevated walkways. Elevated walkways may be constructed between houses on adjacent lots, subject to the consent of all affected homeowners. Such walkways must

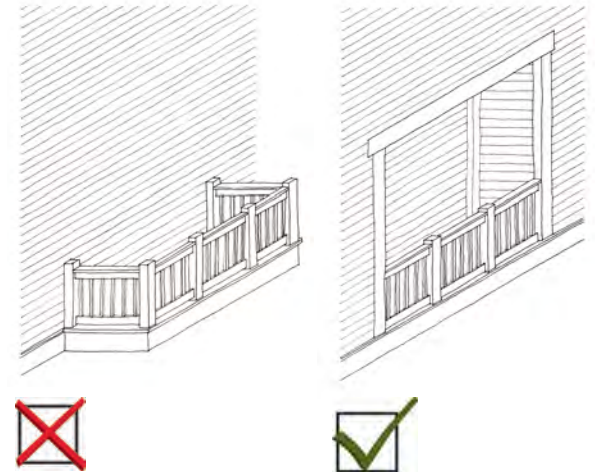
occur at the first level, must join houses set at the same floor elevation (no ramping permitted) must be a maximum of 6 feet wide, and may be covered but not enclosed.

15. Mechanical equipment. Any mechanical equipment located on the exterior of the house (A/C condensing units, gas and electric meters, utility pedestals, ect.) shall be screened from public view by privacy screens. Landscaping may also be used where the use of screens is not practical. Where A/C condensing units are platform mounted, the platform shall be integrated into the design of the house. Cantilevered platforms are not permitted on the front or side elevations. Platforms shall not project into a side yard setback.

Self-contained window air conditioners are prohibited.

Plumbing vents shall, to the greatest practical extent, be located out of sight from the frontage of the house.

Satellite dish antennas shall be mounted in discrete, unobtrusive locations out of direct view from the frontage of the house.



Appropriate mechanical platforms

16. Green Building Practices. Green building practices such as the use of local, renewable materials, is encouraged. Energy saving strategies are also encouraged. Many of these practices, while optional, will not have a visible effect on the overall esthetics of the house. Certain alternative energy strategies, however, will have a visible effect. Note the following requirements:

Solar panels may not be located on any roof plane visible from the lot frontage. If the preferred orientation for the panels needs to face the frontage, the form and massing of the house shall be configured to provide an appropriately oriented roof plane in an unobtrusive location such as on an interior court or a side wing.

Wind turbines are discouraged, but must be hidden from view from the main house frontage.



These solar panels are located on the rear facing plane of the roof.



A wind turbine is too much of an anomaly to fit in. They may be used if not visible from the street frontage.

D. Exterior Materials and Finishes.

1. Walls. Exterior walls shall be finished with horizontal lap siding, which may be composed of wood or Hardiplank. No vinyl or aluminum siding is permitted. Stucco is not permitted. Siding must consist of individual boards; pre-manufactured sheets are not permitted. Trim shall be wood or Hardiplank.



Decorative wood shingle patterns are permitted for accent elements such as gable ends. Acceptable patterns include overlapping “fish-scale” or diamond patterns. “Shake” style shingles as well as board and batten finish may also be used in limited areas, although the majority of the house shall be the horizontal lap siding. Shingles shall be painted to match or harmonize with the primary house color.

2. Roofs. Roofs shall be finished with galvanized steel or galvalume roof panels. Aluminum roof panels are highly recommended to withstand the salt air environment. A variety of patterns and techniques may be used, including standing seam, batten seam, “5-vee” crimp, or Bermuda roofing. Roof panels shall be naturally finished metal; factory-applied painted finishes are not permitted. Stainless steel drip edges are required.



Painted shingles may be used to accent an area.

3. Windows. Wood frame or clad “profile” type with wood look is required. Economy aluminum windows are not permitted.

4. Doors. Wood paneled doors or vinyl-impact doors are required for front entrances; they may contain glass lites and must be painted or stained.

Screen doors shall be wood, of simple stile-and-rail designs. Screen doors shall be finished to match the weatherproof finish of the doors and windows (i.e., painted or stained) and shall be constructed of treated material.

5. Trim. Hardi-board or an equivalent cementitious material should be used wherever possible. Wood shall be paint grade “B & Better” and should be treated. Corner boards and opening trim shall be minimum 3.5 inches wide, cornice boards and fascias shall be minimum 5.5 inches wide.

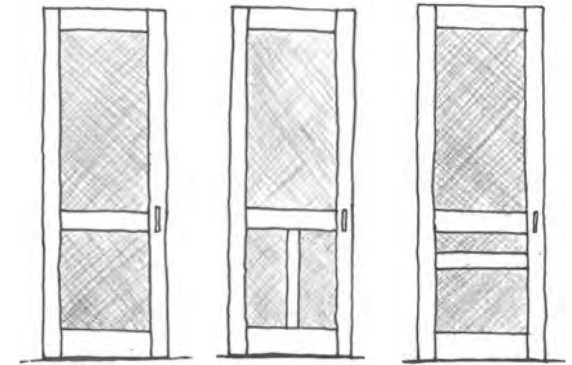
6. Colors. Bright or pastel colors in a variety of hues, generally no less than 30 percent light reflective, are acceptable for field colors for wood siding. Brown and beige tones should be avoided; the intent is to create a bright and festive atmosphere.

Darker colors should also be avoided, particularly red tones, as they have a tendency to fade quickly. Wood trim shall be white as noted on page 15. All exterior paint in Beachside Village shall include mildicide.

7. Fasteners. All fasteners exposed to the weather, including structural bolts, or used to fasten exterior materials, shall be of stainless steel. Not using stainless steel fasteners will cause the fasteners to rust and stain the exterior finish of the house, requiring frequent maintenance, and may ultimately affect the structural integrity of the house. It is understood that hurricane clips may not be available in stainless steel; these may be of galvanized material.

Stainless steel through bolts with stainless steel washers and nuts are required for connecting the platform stringers to the tops of the piles. Stainless steel threaded rod, cut to length, and with nuts at both ends may also be used. Lag screws are not permissible.

8. Flashing. Stainless steel is required for any exposed flashing. Flashing with a horizontal drip edge (such as roof eaves) shall be stainless steel.



Acceptable screen door designs.

9. Mailboxes. Mailboxes may only be installed and used by permanent residents. All mailboxes must be standard, white plastic boxes affixed to a white post.

Site Elements

Site elements are a critical component contributing to the overall character of Beachside Village, and are subject to strict standards as described in this section. Site elements are subject to the same review procedures as for any proposed construction. Plans showing locations of trees, shrubs, walkways, driveways, fences, elevation changes, irrigation systems and exterior lighting shall be submitted to the community association's designated agent for review and approval prior to installation of any of these elements.



Typical Beachside Village landscape.

A. Landscaping

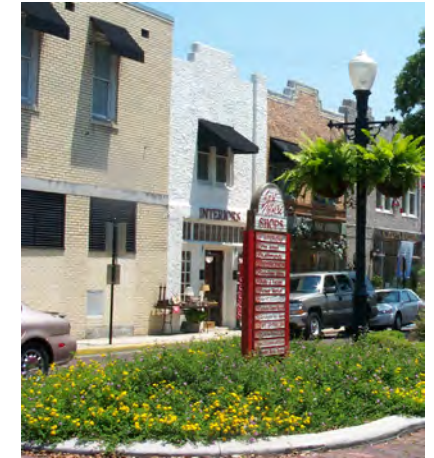
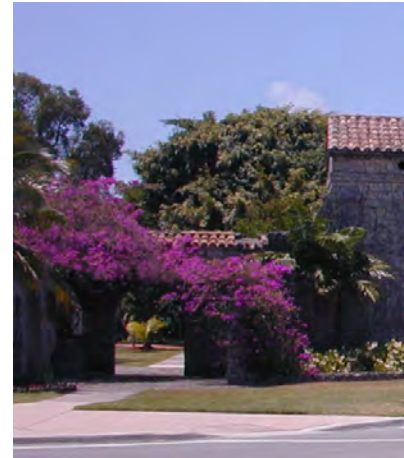
The environment of Beachside Village is characterized by extreme conditions ranging from hot and very dry to frequent heavy rains. The intent of these landscape standards is to provide residents and property owners with specific information regarding trees and plants best suited for use in Beachside Village, and to establish general guidelines for their use.

The landscaped areas of lots consist of all areas not under the footprint of the house. These areas are subject to the following provisions.

1. No more than 50 percent of the landscaped area shall consist of lawn. The balance must be planted beds.
2. A majority of the plant materials must be selected from the “List of Recommended Landscape Plants” that follows this section. Plants on this list are especially suited to the climatic conditions of the site.
3. An automatic, underground sprinkler system is strongly recommended, particularly for houses that will not be continuously occupied.
4. The use of ornamental grasses and ground covers is encouraged as a field material for planting beds.
5. Mulch to a depth of 3 to 4 inches should be maintained on all planting beds.
6. Every developed lot shall have a minimum of two slow-growth palm trees in the view corridor and two larger palms placed outside of the view corridor. Broadleaf trees of any species are strongly discouraged. Trees shall not be placed so that they obscure any view corridors to the Gulf.
7. Landscaping shall not be overdone so as to substantially obscure the structure. Excessive use of fast-growing trees will not be permitted. The landscaping is intended to play a supporting role in highlighting and enhancing the architectural design.

Homeowners are advised that the view corridors, i.e., those vistas along the front yards and front porch zones on streets perpendicular to the beach, are intended to maximize the views toward the beach. Any landscaping that grows into the view corridor above the platform elevation shall be cut back or removed by the Homeowner.

8. Walkways, paths, etc., shall be constructed of porous materials such as crushed stone, caliche, concrete pavers, or mulch.



Trees:

- Sabal Palm*
- Pindo Palm
- California Fan Palm
- Mexican Fan Palm
- Canary Date Palm

Shrubs:

- Natal Plum*
- Zebra Grass
- Miscanthus Grass
- Sago Palms
- Hibiscus
- Ixora
- Pennisetum Grass*
- Pampas Grass*
- Dwarf Oleander
- Purple Fountain Grass
- Dwarf Fountain Grass
- Indian Hawthorne*
- Eleagnus*
- Pittosporum*

Vines:

- Confederate Jasmine*
- Honeysuckle
- Carolina Jessamine*
- Bougainvillea

Ground Cover:

- Wedelia*
- Asian Jasmine*
- Ice Plants*
- Asparagus Fern*

*Denotes first row plants that are particularly hardy

B. Fencing

A fence is a traditional means of articulating public space from private space. Fences may also provide a support for vines, a backdrop for flowers, and a means of projecting the architectural style of the building to the street.

Fences in Beachside Village serve two basic purposes:

- Privacy screens are both high enough and opaque enough to restrict the view of pedestrians into private areas or unsightly elements. These are typically used to screen elements such as mechanical equipment or car parking.
- Front yard fences are intended primarily to define the boundary between public and private space, and are generally not meant to obscure views or to provide security against determined intruders. They are usually no more than waist high and are fairly open and transparent.

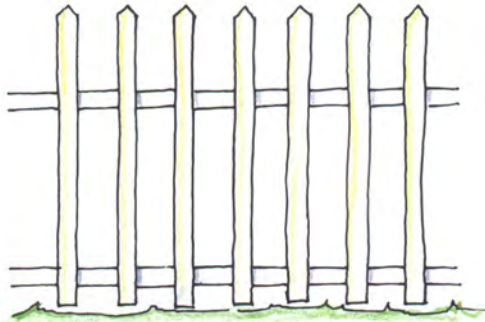
Privacy fences should be about 6 feet high and should be constructed of wood. Typical applications would include the enclosure between the pilings of single-family homes and the screening of such elements as dumpsters and mechanical equipment (6 foot high privacy screens in Beachside Village shall only be located below the house)

Limited areas of 3 foot high privacy fencing shall be permitted to screen elements such as transformers, trash receptacles, etc. if they are integrated into the picket fencing in a harmonious manner. In such cases, the screening should be a variation of the picket design and shall be painted white. Privacy fences along the picket fence shall be limited to the service side of the lot.

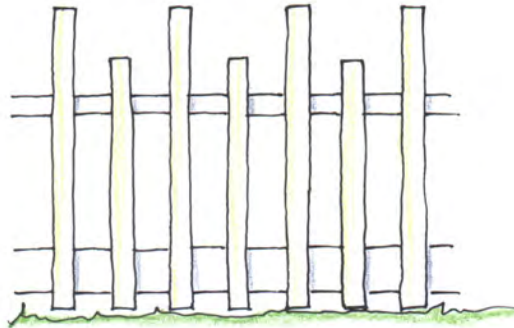
Old-fashioned wood picket fences are required for the yards of residences. Such fences should be located in a consistent fashion along the property lines, so that all houses on a block face have a similar fence condition. Picket fences shall be punctuated by vertical wood posts spaced between 6 and 8 feet on center and differentiated from the pickets. Posts may exceed the picket height by up to 12 inches, and decorative finials or moldings are encouraged. Picket panels should be about 36 inches in height and consist of repetitive pickets, predominantly vertical, that leave at least 35% of the area open. Pickets may be nominal 2 x 2, 1 x 4, or 1 x 6 boards. Picket panels should exhibit a variety of designs from house to house; and individual expression is encouraged. No two houses on the same block face may have identical picket patterns. Paint color shall be white.

The intent is for all sides of the houses to be fenced. Individual homeowners are responsible for fencing the front, rear and street sides of their lots. Common sides may either be fenced by the first owner to construct his house, or be shared by mutual agreement of the two lot owners.

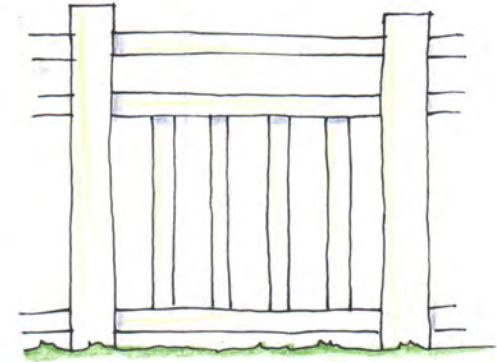
Fence Types



PICKET



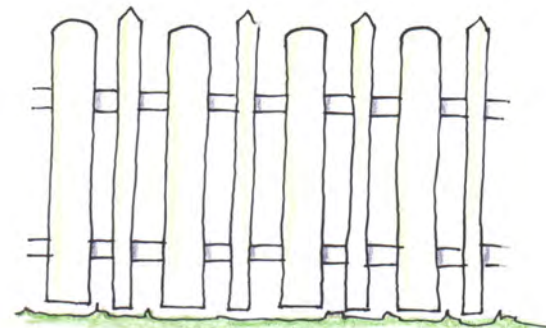
PICKET



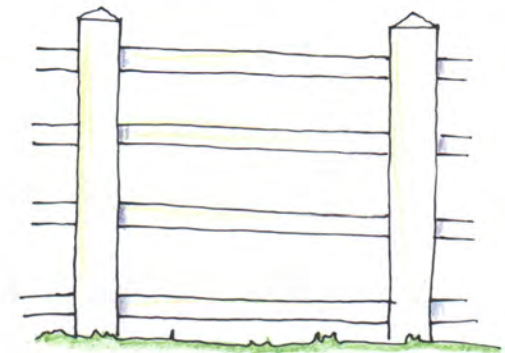
COMBINATION HORIZONTAL
AND VERTICAL BOARDS



BOARD WITH CUTOUT



COMBINATION BOARD AND PICKET



HORIZONTAL BOARDS

C. Lighting

Exterior lighting is required for all buildings. Exterior lighting shall consist of a variety of fixtures, some of which shall be on a photocell control so that some amount of lighting is operational regardless of whether the home is occupied.

1. Exterior light fixtures for residences shall have conventional incandescent lamps of 40 watts or less, or halogen lamps of 20 watts or less. Lights intended to illuminate the occupied areas of the porches may be of greater wattages.
2. Lights shall be placed so that they do not shine directly at neighbors.
3. Exterior stairs shall have light fixtures that are on a photocell control.
4. Entries from the street or sidewalk shall have at least one “mushroom” light fixture, placed so that it casts light on both the sidewalk and the path. The balance of the pathway shall be illuminated in a similar manner, in a spacing and pattern sufficient to provide at least 1 foot-candle of light at all points of the path. These lights shall have a photocell control.
5. There shall be at least one fixture near the front door on a photocell control. There shall also be at least one fixture at the rear of the house on a photocell control. Other lighting at porches, decks etc., may be placed at the homeowner’s discretion and manually switched as desired.



D. Graphics and Signage

All of the signage in Beachside Village shall fall into one of the following categories:

1. House Numbering.
2. Temporary Signage.
3. On-premises Signage. (commercial buildings only.)
4. Project Identification Signage.
5. Vehicular Direction and Control Signage.
6. Pedestrian wayfinding and Information Signage.

The latter three categories will be provided by the developer of the community, not by the individual home owner or builder

1. Address Numbers.

All residential and commercial buildings shall have a building-mounted address, consisting of the address numerals only. Numerals must be mounted near the entry and shall be clearly visible from the street fronting the building. Address signs may be individual numerals or a decorative panel compatible with the architecture of the building. The height of the numerals is limited to a maximum of 6 inches. Panels are limited to approximately 1 Square foot in Area.

For houses fronting on passage streets, an additional set of address numerals shall be provided on the rear (vehicular access) side, limited to individual numerals of a maximum of 4 inches in height. Similar secondary address numerals may be provided at the rear or service entries of commercial buildings.

Individual houses may be named (e.g., “Castaway Cottage” or “Dune View.”) Names may be displayed on the same panel as the address numbers, with the size of the panel not to exceed 2 square feet.

2. Temporary Signage

A variety of temporary signs are necessary for commercial viability, promotional purposes, and special events. They shall be permitted, subject to the following provisions:

Announcement Sign (commercial only). This sign, fairly large in size, would be the first sign installed, and would note the timing of the development, i.e., “Coming Soon.” It may provide names and/or phone numbers for interested tenants or purchasers, and also may identify the builders or others who have an interest in the project, i.e., banks, name tenants, etc.

Real estate sales and leasing. No real estate sales and leasing signs shall be displayed on the property.

Open House Advertising. Only homes that are available for sale may be advertised and held as an ‘open house.’ A licensed Realtor or assistant must be present during the open house. No banners or flags are allowed.

Open Houses. Open houses may only be held between the hours of 1 and 3 pm on Saturdays or Sundays. The Homeowners Association must be given prior notice so that the entry gate can be staffed by an attendant. The attendant will direct visitors to the open house and will distribute any available information regarding houses for sale. No directional signage is permitted.

Political Signs. Political yard signs and window signs are not permitted in Beachside Village.

Construction Signs. Construction signs that primarily advertise the builder or architect shall be limited to one standard sign; the design may be obtained through the HOA. No more than one construction sign is permitted for any project.

Special events. The community may wish to adopt a special program of banners, lighting effects, and other elements for seasonal events such as Christmas. Such a program shall be designed to blend appropriately with the architectural character of the community. The decorations or special effects permitted by private tenants shall be considered as a part of the overall program, so that a detailed set of guidelines will be issued to which tenants must conform. The light poles in the commercial areas have been designed to accommodate these items.

3. On-premises Signage (Building Signs)

This includes building mounted signs for commercial areas. Two types are most commonly used; those mounted on the building face and addressed to the vehicular traffic or to a person across the street, and “projected,” perpendicular “blade” signs addressed solely to the pedestrian walking along the building face. This also includes hanging signs, generally in arcade areas.

Building-mounted Signs. Signage mounted on the building face should be contained within a clearly articulated sign band, designed specifically to harmonize with the architectural façade. Such signs may be located above the storefront elements, or may be on an upper story. Signage should not obstruct any architectural elements, decorative moldings or cornices. Signage shall not be located on the roof or above the eave line of a pitched roof.

Since this is primarily a pedestrian-oriented environment, the size and location of signs and lettering should be directed to eye level at a distance of 30-100 feet. The signs should be of wood or metal with applied or painted letters. Letter forms mounted on the building face are also acceptable. Logos and standard trademarked graphics may be used as elements of the sign. Signs should be up-or-down lit by traditional light fixtures.

Building-mounted signs shall be in scale with the façade of the building. Sign length shall not exceed 60% of the width of the storefront length for any individual tenant. Height of letters shall be in scale with the sign band or area on the building elevation reserved for signage. In general, lettering will not exceed 18 inches in height, and in most cases, should be in the range of 8 to 12 inches. Individual graphic elements and logos may be 18 inches, subject to review on a case-by-case basis.

One building-mounted sign is allowed for the primary façade of each retail tenant. For tenants with two or more major exposures, such as at building ends facing two streets, one additional sign is permitted per façade. In addition, valence awning signs are permitted, one per establishment, with a maximum lettering height of 8 inches.

Under Canopy and Projected or Hanging Signs. Commercial buildings shall augment the building-mounted signage with pedestrian-oriented signage. Such signs are traditional shaped panes, typically mounted perpendicular to the building face and are of modest scale that can be read by a pedestrian within 40 feet of the sign. They may be suspended from arcade soffits or bracketed from the building face. They are generally two-faced sign panels with identical graphics on each face.

One sign per tenant or store is permitted. For large tenants with more than one entrance, one sign is permitted for each entrance. Each sign shall not exceed 4 square feet in size. A variety of materials are permissible, but the signs shall be essentially two-dimensional. Boxed or internally illuminated signs are not permitted. The signs may display the tenant name and logo and up to five other words, such as “Wine and Spirits” or “Clothing for The Nature Lover.”

The bottom of the sign shall be mounted a minimum of eight feet above the boardwalk. The sign shall not be mounted above the first floor, and must be below the building-mounted signage.

Window Signs. Window graphics such as name, hours of operation, and telephone numbers are permitted for storefronts corresponding to a single tenant. Permanent window graphics consisting primarily of the tenant name or services are in keeping with the traditional village vernacular, but shall be limited to a maximum of 5 percent of the total glass area of a storefront. Promotional graphics shall be tasteful and understated and may not substantially obscure the visibility through the window. In no case shall window graphics be located on the exterior surface of the glass. Lettering size shall be a maximum of 6 inches, in a traditional style. However, traditional stick-on plastic letters are permitted.

Signs Not Permitted. In addition to box or back lit signs, large or illuminated signs behind the glass that advertise on a permanent basis are not permitted. Applied window signs, such as cardboard panels, are not permitted. Temporary “Sale” signs applied to the exterior of windows are not permitted. No flashing or animated signs are permitted.

4. Project Identification Signage - Monument Signs and Pole Signs

The major project identification signage will be located at the entrances to the project at the intersection of FM 3005 and Grand Ave. This type of signage usually consists of a ground-mounted monument sign, typically a wall-like structure with applied graphics. The monuments cannot be located within the public right-of-way, or obstruct the required sight lines for motorists.

Site identification will be installed at the entrance from off-site. In order to provide for a pleasing and appropriate means of identification, monument rather than pylon signage should be located at the major entrances. Illumination would be achieved through external rather than internal sources.

5. Vehicular Directional and Control Signage

Effective traffic control signage is essential to ensure public safety, particularly in a community like Beachside Village, where the emphasis is on creating a quality pedestrian environment. These signs will regulate orderly vehicular circulation and include such items as speed limit signs, stop signs, and yield signs, as well as directional signage to major community amenities and parking areas.

Traffic control signage is typically located within the public right-of-way and is regulated by well-established engineering standards. The design of the sign panels is limited to widely familiar standard designs as approved by The City of Galveston. Posts should reflect the materials and details of other streetscape elements. For example, painted wood posts with decorative top caps or finials that might refer to fencing elements, are an option. Signage will address maximum allowable driving speeds, pedestrian rights of way, intersection controls, no parking areas for fire department etc. Signs will be of painted wood construction. Wood signs mounted on painted pressure treated 4x4's to be consistent with the overall site aesthetic. Vehicular control signage will be provided throughout the site as determined necessary to satisfy the city of Galveston requirements.

6. Pedestrian Wayfinding and Information Signage

This type of signage is located throughout the community and is designed to help the pedestrian find amenities and facilities such as civic buildings, public restrooms, vending areas, etc. In commercial areas, directory signs should show the location of particular tenants and shops.

Wayfinding signs are an important pedestrian amenity, but if overdone, can create a cluttered appearance. The integration of these signs with other elements of the streetscape is encouraged, for example, on lampposts or on building faces. Wayfinding signs are generally pole or pylon type; however a limited number may be placed on building façades as wall signs, or contained on kiosks and banner poles.

Wayfinding signage should be straightforward but attractively designed for easy recognition, with succinct messages, but may contain a range of design options, colors, and materials. This type of sign system is frequently used to reinforce a design theme, and may incorporate a logo or distinctive color scheme.

General Information Signage. Signage to provide general information to visitors will be provided throughout the site. Wherever possible, this signage will be located on brackets mounted to decorative light posts or on building elevations to minimize a cluttered appearance. Individual signs, not to exceed 1.5 square feet, may be located on poles or building corners.

E. Paving

1. Driveways may be constructed of concrete, but enhanced or alternate materials are strongly encouraged. Enhanced materials are required on beachfront lots and front-loaded lots that have more than one driveway.

2. Concrete may be enhanced by integral colors, exposed aggregate finish, or stamped patterns similar to “Bomanite.”

3. Alternate paving materials include concrete pavers in a variety of patterns, including grass pavers. Crushed stone and decomposed granite may also be used, but must be framed by concrete edges to contain the material.

Introduction

The following design review procedure is a copy of a document that is provided separately to all lot buyers in Beachside Village, and is reproduced here for informational purposes. It describes the sequence required to obtain design approval for any proposed construction in Beachside Village. The Forms referred in the text may be found attached to the original document. Additional copies may be obtained from the Association or The Town Architect.

DESIGN REVIEW PROCEDURE

STEP 1. Documents. In order to proceed, you should have reviewed the following documents:

- a. The Beachside Village Pattern Book.
- b. The Declaration of Covenants, Conditions and Restrictions for Beachside Village, along with the exhibits to those documents (hereinafter referred to as the “Governing Documents”)
- c. The Design Review Procedure (this document).
- d. The list of recommended architects, designers, landscape architects, and approved builders.

Collectively, the above list of documents shall be referred to herein as “The Code.” The documents above can be found in pdf format at www.beachsidevillage.com under “Architectural Standards”.

All review submittals and correspondence shall be done electronically. PDF files of the required submittal drawings, (1 set) and forms shall be submitted by e-mail to:

jhill@civic-design.com and
reinhart.debbie@gmail.com

Copying both parties on the e-mail will help ensure receipt and timely review of documents. The Town Architect will distribute the appropriate number of copies once a review is complete.

At the same time that the submittal is sent to the Town Architect, a copy of the appropriate review application form, accompanied by the appropriate fee, shall be sent to the Beachside Village Homeowners Association at the following address:

Beachside Village HOA
P.O. Box 3809
Galveston, Texas 77552

Checks should be made payable and sent to the Beachside Village Homeowners Association.

Upon completion of the review, one copy of the submittals will be returned to the applicant, one copy will be forwarded to the Association, and one copy will be retained by the Town Architect.

After final approval for construction, one hard-copy set of the final plans, printed at full size, shall be delivered to the HOA.

STEP 2. Sketch Review. This review is intended to establish whether the plans reflect a correct interpretation of the design intent. The Town Architect, will stamp the drawings upon approval. The following are required submittals:

- a. Form A: Sketch Review Application
- b. Schematic Design Drawings as follows:
 - (1.) Site Plan at a scale of 1/16"=1' (or larger), showing the following:
 - North arrow,
 - Property lines and setbacks with dimensions,
 - Building footprints with entries, porches and balconies delineated and overhangs shown as dashed lines,
 - Location of parking on site,
 - Drives and walks, with dimensions of each, and
 - Existing trees with trunk diameter and canopy dimensions
 - (2.) Elevations at a scale of 1/8"=1' or 1/4" = 1', showing the following:
 - Porches, balconies, doors, windows and exterior stairs,
 - Principal materials rendered and specified,
 - Height of each floor, eave and maximum height in relation to ground level, and roof pitch.
 - (3.) Floor Plans at a scale of 1/8"=1' or larger, showing the following:
 - Rooms, porches, decks, stairs, etc., with names
 - Windows and doors,
 - Overall Dimensions
 - Location of exterior A/C units

c. Variances: If there are any variances to the Code, submit a description of them, along with the proposed justification, for the same based on merit or hardship.

d. Fee: \$250.00

Half-size drawings on 11x17 sheets are acceptable, provided that the required information is legible and to scale.

PDF files on electronic submissions should be set up to print on 11x17 sheets.

Resubmittal. Any Sketch Review application that is rejected must be re-submitted after appropriate corrections are made. Resubmittal requirements are:

- a. Original Form A.
- b. Revised Drawings, same list as required for Sketch Review.
- c. Resubmittal fee: \$100.00.

STEP 3. Construction Documents Review. This review checks the construction documents for compliance with the Code and verifies that recommendations made at the sketch review have been incorporated. Conformity to applicable local regulations and building codes is your responsibility, along with that of your architect or builder. The following submittals are required:

- a. Sketch Review Application (Form A) bearing The Town Architect's stamp of approval,
- b. Copies of all necessary governmental approvals,
- c. Construction Document Review Application, (Form B)
- d. Materials and Finishes List, (Form C)
- e. Review fee: \$250.00, and
- f. Construction Documents, as outlined below:
 1. Site Plan at a scale of 1/16"=1' (or larger), showing the following:
 - North arrow,
 - Property lines and setbacks with dimensions,
 - Building footprints with entries, porches and balconies delineated and overhangs shown as dashed lines,
 - Location of parking on site,
 - Drives and walks, with dimensions of each, and
 - Existing trees with trunk diameter and canopy dimensions.
 2. Floor Plans at a scale of 1/4"=1', showing the following:
 - Rooms dimensioned and uses labeled,
 - All windows and doors with swings shown,
 - All overhangs of floors and roofs as dashed lines,
 - Overall dimensions, and
 - Total square footage (enclosed and porches shown separately).
 3. Elevations at a scale of 1/4"=1', showing the following:
 - Porches, balconies, doors, windows and exterior stairs,
 - Principal materials rendered and specified,
 - Height of each floor, eave and maximum height in relation to ground level, and roof pitch.
 4. Details at a scale of 3/4"=1' or 1-1/2"=1', showing the following:
 - Water table (if any),
 - Eaves,
 - Door and window surrounds,
 - Porches, and
 - Others as required in the Association Sketch Review Approval or any governmental approvals.
 5. Landscape Plan: A sketch plan is required for approval within 90 days of the Construction Documents Review or sixty days prior to occupancy.
- f. Variances: If there are any variances that have been granted from the Code, submit a description of them.

The owner may be asked by the Town Architect to stake out the building, garden walls and fences. The Town Architect will approve, approve with stipulations, or reject the submittal.

If you have not selected a builder by this time, you should do so now. The Association and the Town Architect maintain a list of approved builders. Note that it is mandatory that a builder be approved to build in Beachside Village.

Resubmittal. Any Construction Documents Review application that is rejected must be re-submitted after appropriate corrections are made. Resubmittal requirements are:

- a. Original Form A
- b. Revised Drawings, same list as required for Construction Documents Review.
- c. Resubmittal fee: \$100.00

STEP 4. Construction Commencement. Before construction may begin, the following submittals are required:

- a. Form D: Construction Commencement Application.
- b. Copy of Building Permit(s) and any other necessary governmental approvals.
- c. Statement of Intent to Comply with the Design Standards, signed by the builder.
- d. Logistics Plan. An annotated site plan indicating the proposed placement of dumpster, portable toilet, materials lay down area, delivery zone, and construction fencing. Note that deliveries must occur from the street side and that no activity or encroachment into the Greenways is permitted.
- e. Construction Observation Fee: \$500.00
- f. Construction Deposit: \$1.00 per square foot of conditioned space. This deposit will be applied to each house individually; there will no longer be a maximum for any builder who is building multiple homes at any one time.
- g. One full-size, hard-copy set of the final construction drawings shall be delivered to the HOA.

Construction may begin upon receipt by the HOA of the completed forms, fees, and deposits noted above.

The Association reserves the right to inspect properties in the field for compliance to the approved documents during any stage of construction.

As a result of these inspections, the Association may stop construction. Typical field inspections include:

- a. At string stake out of buildings, garden walls, fences and trees to be removed,
- b. When pilings or formwork for footings are in place,
- c. At the commencement of wall cladding or finish, and
- d. During construction with respect to eaves, fences, columns and banisters.
- e. Although not required at the time of construction commencement, please be aware that the exterior color scheme and the landscaping plan must be submitted for approval prior to execution. Color samples may be applied in place and, upon notification, will be reviewed by the Town Architect during one of the periodic construction inspections.

Construction Procedures.

Now that Beachside Village is well established and a substantial number of lots have been completed, construction must minimize any disruption to adjacent lots and to the community in general. The following procedures shall be observed:

1. Construction activity shall be confined within the lot as much as possible.
2. Greenways shall not be used for access or material lay-down.
3. Deliveries shall be from the street side.
4. Dumpsters must be on the lot and adjacent to the street side.

This may necessitate the use of smaller containers and more frequent haul-off.

5. Weekend activity is permitted, however, builders should note that resident activity is more prevalent on weekends. Avoid noisy and disruptive work, heavy deliveries, or any other activities that may block the street for any length of time.

Note that the notching of pilings to set stringer elevation shall not be done until an independent surveyor has marked a control elevation to ensure proper placement of stringers. The surveyor will mark the 10' elevation reference on a pile and note the required offset to the bottom of stringer.

STEP 5. Minor Change. It is anticipated that owners may wish to make improvements or modifications to approved plans during construction. To do so, submit the following:

- a. Form E: Minor Change Application,
- b. Applicable drawings as necessary to describe the modifications, and
- c. Minor change fee: \$50.00

A minor change may be executed upon receipt of approval from all necessary governmental agencies and approval of the Minor Change Application by the Town Architect.

STEP 6. Final Inspection. Upon completion of construction submit the following:

- a. Form F: Final Inspection Application,
- b. Final Certified Survey,
- c. As-Built Drawings, and
- d. Certificate of Occupancy (if required by the City)

Future Modifications. Any additions, alterations, or modifications made after Final Inspection that alter the exterior appearance shall be submitted for review and approval. This includes any structural modifications, re-painting of the exterior, re-roofing, or substantial changes to the landscaping. The following shall be submitted:

- a. Form G: Exterior Change Application,
- b. Applicable drawings as necessary to describe the modifications, including color or finish samples, as applicable, and
- c. Exterior Change Fee: \$50.00

In cases of substantial remodeling, the Town Architect may, upon review of the application, determine that a full construction review (requiring Steps 3 through 6) is warranted. In such cases, the Town Architect will respond accordingly to the exterior change application, which will continue the Sketch Review (Step 2) of the review process.

DESIGN REVIEW POLICIES

Function of The Association. To encourage the architectural harmony of Beachside Village, the developer and all property owners are bound by the provisions of the governing documents. To that end, no structure or improvement shall be erected or altered until the approvals described in this document have been obtained.

Scope of Responsibility. The Association has the right to exercise certain controls over all construction in Beachside Village, along with the appropriate governmental entities. The Association will also review all alterations and modifications to structures and improvements (even after initial construction is complete), including, but not limited to painting, renovations, and landscaping.

Enforcing Powers. Should a violation occur, the Association has the right to injunctive relief, which requires the owner to stop, remove, and/or alter any improvements determined to be in violation of the Code. Approval by the Association does not relieve an owner of his/her/their obligation to obtain any required governmental approvals. If such approvals are required and are not obtained by the owner, the Association and/or the applicable government agency may take whatever actions are necessary as a result.

The Association may, at its discretion, designate a Town Architect in order to ensure compliance with the intent of the Code.

Limitations of Responsibilities. The primary goal of the Town Architect is to review the submitted applications in order to determine if the proposed construction conforms to the Code. The Town Architect does not assume responsibility for the following:

1. The structural adequacy, capacity, or safety features of the structure and/or improvement,
2. Non-compatible or unstable soil conditions, soil erosion, etc.,
3. Compliance with any or all building codes, safety requirements, and governmental laws, regulations or ordinances, and
4. The performance or quality of work of any contractor.

Design Review by the Association: The role of the design review during the initial build-out of Beachside Village is assigned to the Town Architect, working on the Association's behalf.

Review Fees. Review fees may be required by the Association, depending on the nature of the application.

Review Policy. The Town Architect reviews the submission and either grants approval, approval with conditions, or denies approval. The owner is notified of the decision in writing and/or drawings within thirty days from the date of receipt. The Town Architect, may at his discretion, extend the review period for an additional 30 days and will notify the owner within the first 30 days of his intent to do so. In any case, the owner will receive a response within the specified time. One set of plans will be returned with comments. The Town Architect may deny approval because the application is incomplete or inadequate. If approval is not granted, a revised application addressing the deficiencies needs to be submitted. If the application is denied approval, a formal appeal may be made in writing to the Town Architect.

Application Withdrawal. The withdrawal of an application may be made without prejudice.

Variances. All variance requests pertaining to the Code must be made in writing. Any variance granted shall be considered unique and will not set precedence for future decisions.

Approval of Builders. All builders must be approved by the Association to build in Beachside Village. A list of pre-approved builders who understand the high quality of construction expected in Beachside Village is available from the Association. A builder not on the list must receive approval from The Association.

All builders on the approved list work in Beachside Village at the sole benefit of the property owners and non-compliance with the regulations may cause the HOA to remove a builder from the approved list. A builder may be removed by the HOA, the Town Architect, or the Developer.

Construction Deposit. A construction deposit for each house is required. The amount of the deposit is set at \$1.00 per square foot of air conditioned space. The Association will hold the deposit until the Town Architect has made a final field inspection and accepted the project as complete. Full compliance with the intent of the Code will result in the return of the construction deposit. If the deposit is required to repair, replace, or clean up common areas that are damaged due to construction activities, the builder will be notified of the deficiency. The builder will be allowed to rectify the problem before the deposit is expended.

Construction Inspection. Periodic inspections may be made by the Town Architect while construction is in progress to determine compliance with the approved plans and specifications. The Association is empowered to enforce its policies as set forth in the Governing Documents by any action, including an action in a court of law, to ensure its compliance.

Waiver and Additional Requirements. The Code has been adopted to assist the owners in connection with the design review procedure. However, the Town Architect has the right to waive certain submission or Code requirements, for various reasons, including architectural merit or demonstrated hardship.

Ongoing Maintenance. Homeowners are required to maintain their homes after construction to protect their investment as well as the overall value of the community. This is done for the benefit of the neighborhood. Visible deterioration such as rotting wood, rusting fasteners, peeling paint, etc., shall be attended to promptly. More serious damage resulting from storms, fires, or other such events shall be cleaned up and repaired as soon as possible.

The Homeowners Association conducts audits of all homes in Beachside Village from time to time to assess the exterior conditions and note any deficiencies or needed maintenance items. A report of any required or recommended action is sent to each homeowner. Homeowners are advised that these audit reports are considered as official notice of any required maintenance items, and that the HOA may take other follow up action as necessary to enforce the design standards as outlined in the HOA documents.

A. Review Forms

B. Map of Benchmarks

FORM A: SKETCH REVIEW APPLICATION

Lot: _____

Owner: _____

Address: _____

Telephone: _____ E-mail: _____

Architect/Designer: _____

Address: _____

Telephone: _____ E-mail: _____

Landscape Architect (if selected): _____

Address: _____

Telephone: _____ E-mail: _____

Builder (if selected): _____

Address: _____

Telephone: _____ E-mail: _____

1. The following drawings are to be submitted:
- Site Plan
 - Elevations
 - Floor Plans

2. Application Fee: \$250.00 check made out to the Beachside Village Homeowners Association.

Date Submitted: _____ Signature: _____

FORM D: CONSTRUCTION COMMENCEMENT APPLICATION

Lot: _____

Owner: _____

Address: _____

Telephone: _____ E-mail: _____

Builder: _____

Address: _____

Telephone: _____ E-mail: _____

1. The following documents are to be submitted: Form B (stamped)
 Form C (stamped)

2. Construction Observation Fee: \$500.00, check made out to Beachside Village Homeowners Association.

3. Construction Deposit of \$1.00 per square foot of air conditioned space, check made out to Beachside Village Homeowners Association.

The following are required during construction:

Required Stringer Elevation:

The undersigned Builder understands and agrees to employ the services of a licensed surveyor to establish the required bottom of stringer elevation for the house. After pilings are set, the Builder shall notify the HOA and the surveyor, who will mark a control line on one of the piles at an elevation of 10'-0" AMSL as well as note the required offset from that control line.

The Builder shall submit the following items for approval to the HOA and Town Architect prior to commencing those phases of work. Allow 2 weeks for approval.

1. Exterior paint color selections
2. Landscape plan

Date Submitted: _____ Signature: _____

FORM E: MINOR CHANGE APPLICATION

Lot: _____

Owner: _____

Address: _____

Telephone: _____ E-mail: _____

Architect/Designer: _____

Address: _____

Telephone: _____ E-mail: _____

Landscape Architect (if selected): _____

Address: _____

Telephone: _____ E-mail: _____

Builder _____

Address: _____

Telephone: _____ E-mail: _____

1. The following documents are to be submitted: Form B (stamped)
 Form C (stamped)

2. The following drawings are to be submitted:
As required to clearly and completely describe the proposed change.

3. Application Fee: \$50.00 check made out to the Beachside Village Homeowners Association.

Date Submitted: _____ Signature: _____

FORM F: FINAL INSPECTION APPLICATION

Lot: _____

Owner: _____

Address: _____

Telephone: _____ E-mail: _____

Architect/Designer: _____

Address: _____

Telephone: _____ E-mail: _____

Landscape Architect (if selected): _____

Address: _____

Telephone: _____ E-mail: _____

Builder: _____

Address: _____

Telephone: _____ E-mail: _____

I, the Builder, do certify in good faith that the contracted structure on said lot conforms to the Beachside Village Code and the Construction Documents as approved by the Town Architect and the City of Galveston. All site work, landscaping, cleaning, removal of temporary utilities, and repair of damage to rights-of-way and common areas has been completed.

Signature: _____ Date: _____

FORM G: EXTERIOR CHANGE APPLICATION

Lot: _____

Owner: _____

Address: _____

Telephone: _____ E-mail: _____

Architect/Designer: (if applicable) _____

Address: _____

Telephone: _____ E-mail: _____

Landscape Architect (if applicable): _____

Address: _____

Telephone: _____ E-mail: _____

Builder/Contractor (if selected) _____

Address: _____

Telephone: _____ E-mail: _____

Briefly describe the proposed change: _____

1. The following drawings are to be submitted:
As required to clearly and completely describe the proposed change.
2. Application Fee: \$50.00 check made out to the Beachside Village Homeowners Association.

Date Submitted: _____ Signature: _____

**Statement of Understanding
Beachside Village Planned Community**

The undersigned party, acting as a (circle one) Designer General Contractor
approved to conduct work in Beachside Village hereby states that:

1. I have read the Pattern Book and the Declaration of Conditions, Covenants, and Restrictions for Beachside Village.
2. I understand that the intent of the Beachside Village development is the creation of a superior community with all homes constructed to a high standard of design quality and workmanship.
3. My work for this project shall reflect the highest professional standards.
4. All materials, finishes, and workmanship used on this project shall be of the highest quality generally available.
5. All drawings and specifications used for this project shall be complete, clear, and contain sufficient detail to accurately convey and execute the work in the desired manner.
6. All construction shall conform to the Drawings submitted to and approved by the Town Architect.
7. Any and all changes made to the approved construction plans or on site during construction must be sent to the Town Architect for approval before the change is made on site. Form G shall be used to communicate any requests for such a change. Any change made without prior Town Architect approval is subject to denial.
8. The design criteria and construction regulations that have been developed for Beachside Village have been created for the benefit of the property owners. Architects, Designers, and General Contractors work in Beachside Village for the sole benefit of those property owners.

Signature: _____ Date: _____

**Statement of Intent to Comply with Design Standards
Beachside Village Planned Community**

General Contractor, Architect and/or Designer agree that:

1. Stainless steel fasteners will be used on all exterior applications, including siding, decking, ground level screening and fences.
2. The lowest horizontal members for beach front lots shall be set at 19.5' AMSL and for non-beach front lots shall be set at 18.5' AMSL. The Builder shall employ the services of a licensed surveyor to set an elevation reference mark once pilings are driven.
3. The top of all slabs will be set at 1' above the highest point of the adjacent street.
4. Construction debris and trash must be managed as close to the construction site as is possible. A tight perimeter to the site must be maintained. Dumpsters must be removed when the debris approaches the top of the dumpster.
5. General Contractors and Subcontractors must park on the streets – no parking is allowed on vacant lots or greenbelts. Vacant lots and greenbelt areas may be used, very briefly, for delivery purposes.
6. Fence design must be submitted to the Town Architect for approval prior to the construction of the fence. If the fence design is not pre-approved, the Town Architect may require the fence to be removed or re-designed.
7. Exterior paint colors must be submitted to the Town Architect for approval prior to painting. If the colors are not pre-approved, the Town Architect may require the house to be re-painted.

The Refundable Construction Deposit, required of all construction projects in Beachside Village, must be delivered to the Beachside Village Homeowners Association (the HOA) prior to beginning construction. The deposit is placed with the HOA to ensure the General Contractor's satisfactory compliance with the approved construction plans and neighborhood regulations. In the event a construction project is not built per the approved plans and/or neighborhood regulation, the construction deposit may be withheld by the HOA at the discretion of the HOA Board of Directors.

When the builder is given a Notice of Non-Compliance by the Town Architect, the builder will be given an opportunity to correct the defect. If the defect is not correctable, or if the builder chooses not to make the correction, the builder will forfeit the construction deposit. If the Town Architect sends a builder a Notice of Non-Compliance, for any reason, the builder will be charged \$100 against your Refundable Construction Deposit.

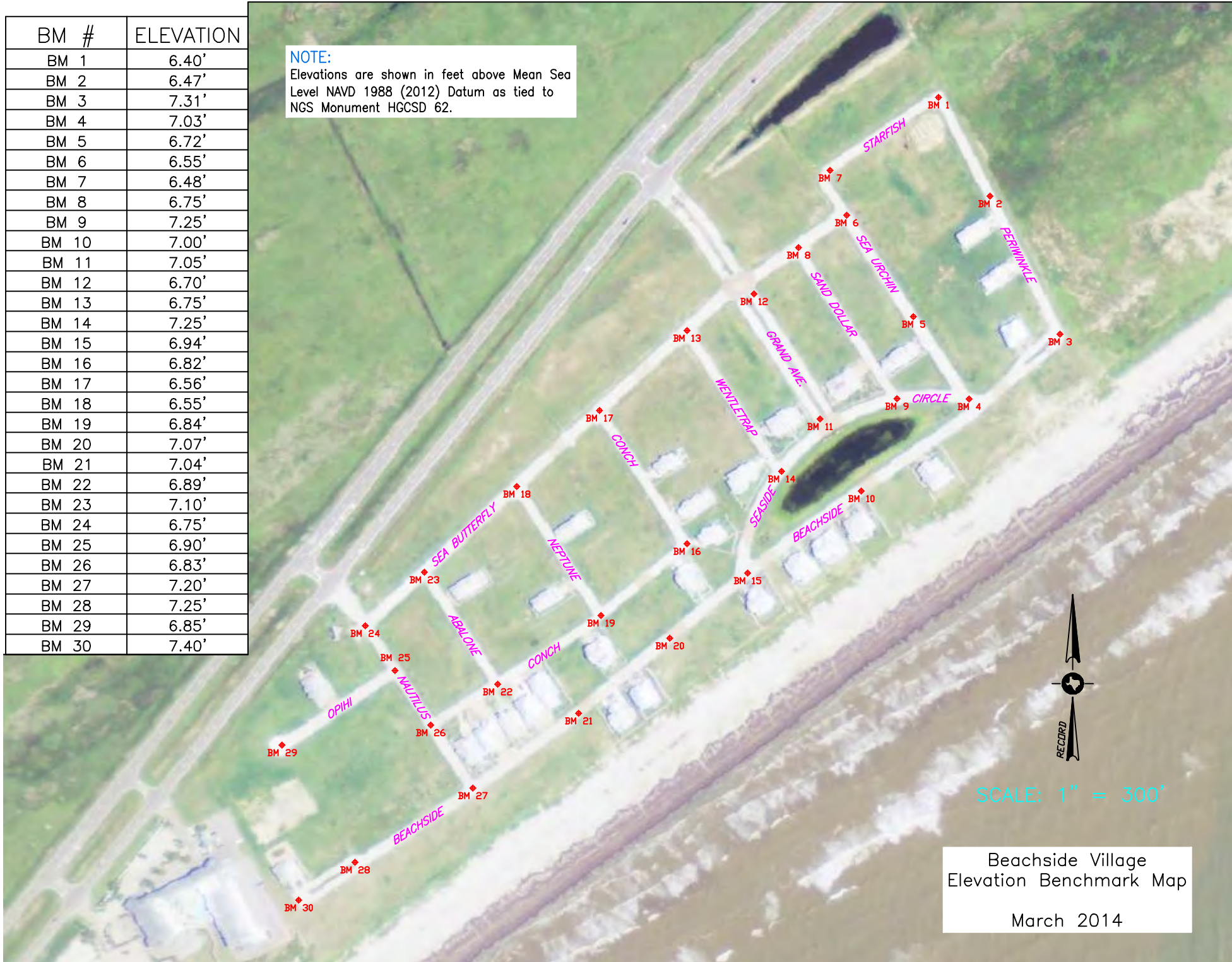
Any builder's 'Approved Builder' status is contingent upon the builders' compliance with the Beachside Village architectural and construction regulations. If an approved builder is not able to, or chooses not to follow the guidelines for construction or is not able to or chooses not to correct a defect explained in a Notice of Non-Compliance, the builder may forfeit the 'Approved Builder' status which would prevent the builder from being allowed to build in Beachside Village in the future.

Lastly, if a builder fails to reasonably perform his or her duties to their homeowners, either during construction or post-construction, i.e. to provide professional work at all times, provide a professional work environment, perform warranty work, etc., a builder's 'Approved Builder' status may be revoked. The Beachside Village HOA Board of Directors take letters from homeowners very seriously when they contain negative comments about their construction experiences and the Board may remove a builder from the 'Approved Builder' list for this reason.

Signature: _____ Date: _____

BM #	ELEVATION
BM 1	6.40'
BM 2	6.47'
BM 3	7.31'
BM 4	7.03'
BM 5	6.72'
BM 6	6.55'
BM 7	6.48'
BM 8	6.75'
BM 9	7.25'
BM 10	7.00'
BM 11	7.05'
BM 12	6.70'
BM 13	6.75'
BM 14	7.25'
BM 15	6.94'
BM 16	6.82'
BM 17	6.56'
BM 18	6.55'
BM 19	6.84'
BM 20	7.07'
BM 21	7.04'
BM 22	6.89'
BM 23	7.10'
BM 24	6.75'
BM 25	6.90'
BM 26	6.83'
BM 27	7.20'
BM 28	7.25'
BM 29	6.85'
BM 30	7.40'

NOTE:
 Elevations are shown in feet above Mean Sea Level NAVD 1988 (2012) Datum as tied to NGS Monument HGCS D 62.



Beachside Village
 Elevation Benchmark Map
 March 2014